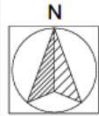


C19/1204/39/LL

Bwriad i greu 6 fflat gwyliau i'w gosod drwy drosi ac ymestyn y prif adeilad a dymchwel yr annedd presennol i'r cefn o'r safle a codi blociau llety newydd yn ei le

Proposed 6 holiday let apartments through the conversion and extension of main building and demolition of existing dwelling to rear of site and replacement with new accommodation blocks

**Venetia, Venetia Lôn Sarn Bach, Abersoch, Pwllheli,
Gwynedd, LL53 7EB**



Site Area: 0.084 ha

Cynllun Diwygiedig Amended Plan



Ordnance Survey (c) Crown Copyright 2019. All rights reserved. Licence number 100022432

Key
Site Boundary ————

 **owen ellis**
Architects
Honeycomb, Edmund Street
Liverpool L3 9NG
TEL: 0151 227 1555
www: info@owenellis.co.uk
www: www.owenellis.co.uk

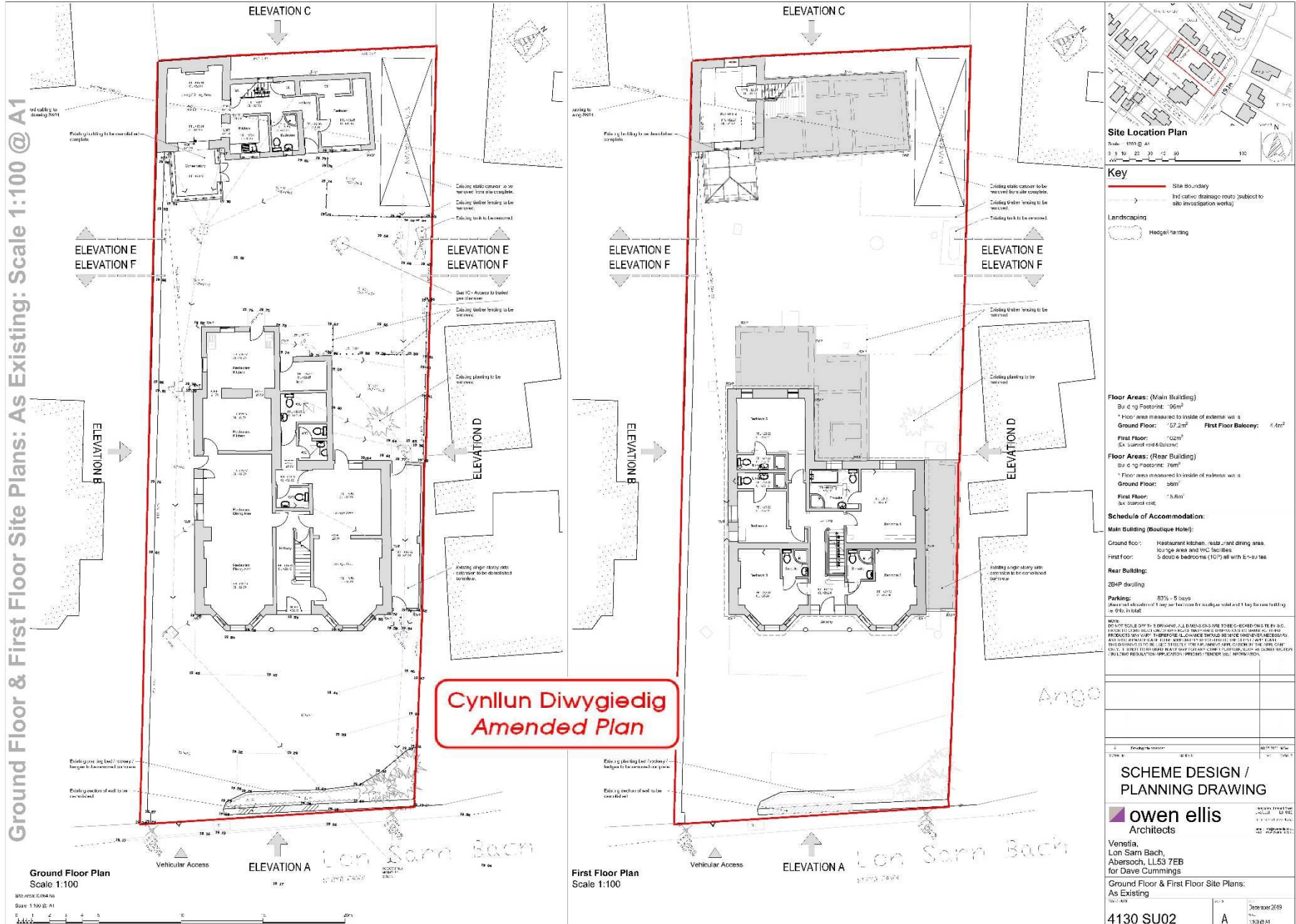
Venetia,
Lon Sarn Bach,
Abersoch, LL53 7EB
for Dave Cummings

As Existing:
Site Location Plan



4130 SU001	REVISION	DATE
	-	November 2019
		SCALE
		1:1250 @ A4

Ground Floor & First Floor Site Plans: As Existing: Scale 1:100 @ A1



Cynllun Diwygiedig
Amended Plan

Site Location Plan



Key

- Site Boundary
- Ind. cat. drainage route (subject to site investigation works)
- Landscaping
- Hedge/Planting

Floor Areas: (Main Building)
 50 x 60 Footprint: 300m²
 * Floor area measured to inside of external wall
Ground Floor: 157.2m² **First Floor Balcony:** 4.6m²

Floor Areas: (Rear Building)
 50 x 60 Footprint: 300m²
 * Floor area measured to inside of external wall
Ground Floor: 35m²
First Floor: 15.6m²
 (ex. staircase)

Schedule of Accommodation:
Main Building (Boutique Hotel):
 Ground floor: Restaurant kitchen, rest./bar and dining area, lounge area and VMC facilities
 First floor: 5 double bedrooms (10/7) all with en-suite

Rear Building:
 2B4P dwelling
Parking: 83% - 5 bays
 (Area not allocated to 1 bay for location for disabled and 1 bay for use for loading or unloading)

NOTE:
 1. ALL INFORMATION IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS AND APPROVALS FROM THE LOCAL AUTHORITY AND OTHER RELEVANT AGENCIES. THE ARCHITECTS ACCEPT NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS ARISING FROM THE USE OF THIS DRAWING.

SCHEME DESIGN / PLANNING DRAWING

owen ellis Architects

Venetia,
Lon Sam Bach,
Abercromby, LL53 7EB
for Dave Cummings

Ground Floor & First Floor Site Plans:
As Existing

13/03/2019	A	20/03/2019 15:00:00
4130 SU02		

Cynllun Diwygiedig
Amended Plan

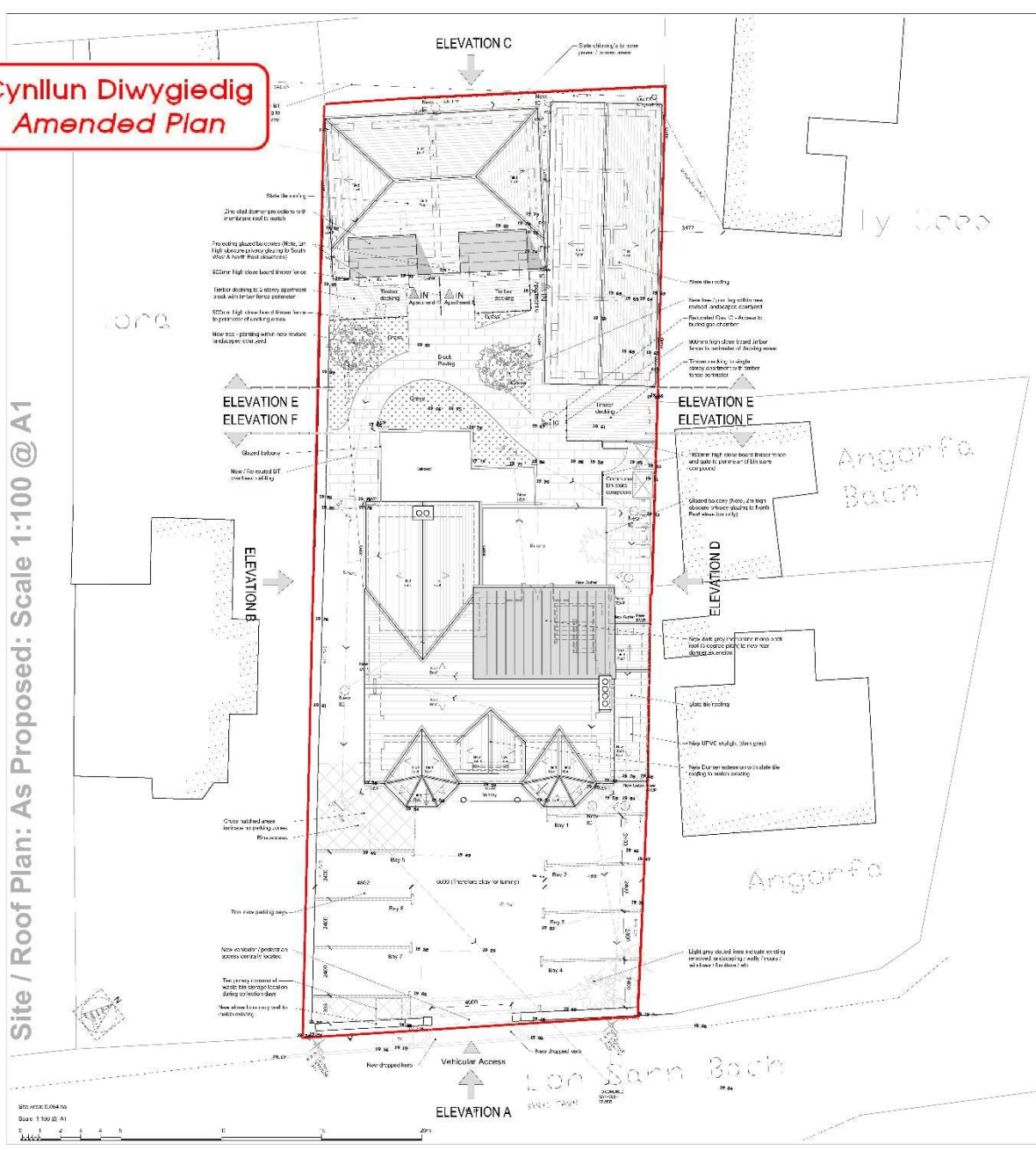


4130 - Venetia, Abersoch
Single Storey Apartment Block - Overview 1

 Owen Ellis
Architects[©]

Cynllun Diwygiedig Amended Plan

Site / Roof Plan: As Proposed: Scale 1:100 @ A1

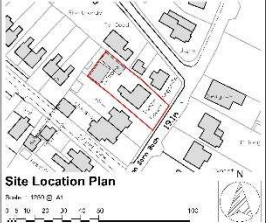


Topographical Survey Legend:

- Symbols**
- Bandstand
 - Boundary of Measurement
 - Electricity Pole
 - Fire Hydrant
 - Gas Tap
 - Gate
 - Gravel
 - Lamppost
 - Mantle/Inspection Chamber
 - Mantle/Inspection Chamber
 - Mantle/Inspection Chamber
 - Oborn
 - Rain Water Gully
 - Road Sign
 - Sprinkler
 - Slope
 - Stop Tap
 - Stop Valve
 - Survey Station
 - Telegraph Pole
 - Tree (Sprawl to scale)
 - Tree Stamp
 - Utility Marker Post
- Abbreviations**
- AV Air Valve
 - BEED Flooded Bed
 - BI Building
 - BOL Solid
 - BT British Telecom Inspection Chamber
 - BT Telephone Pole
 - CS Glass Circuit Televison Furniture
 - CPB Cupboard
 - DK Drop Light
 - ER Earth Rod
 - EV Electricity Valve
 - FM Fire Hydrant
 - G.I. Inspection Chamber
 - L.P. Lamp Post
 - LS Letter Box
 - LP Lamps Marker Post
 - MH Manhole
 - PA Post
 - RS Road Sign
 - RFE Redding Eye
 - RV Rain Water Gully
 - SCP Street Gas Point
 - ST Stop Tap
 - SV Stop Valve
 - TCS Telephone Call Box
 - UI Utility Sign
 - WM Water Meter

- Boundary Abbreviations**
- BW Barbed Wire Fence
 - CB Chain Link Fence
 - CBP Chain Link Fence with Post
 - CF Chain Link Fence
 - CFP Chain Link Fence with Post
 - CFP Chain Link Fence with Post
 - CFP Chain Link Fence with Post
 - CFP Chain Link Fence with Post
 - CFP Chain Link Fence with Post
 - CFP Chain Link Fence with Post
 - CFP Chain Link Fence with Post

- Key:**
- Site Boundary
 - Indicative drainage route (subject to site investigation works)
 - Existing Wall
 - Proposed Wall
 - No Parking Zone
 - Temporary Driveway
 - Block Paving
 - Grass
 - Tree
 - F1ish Floor Level
 - Inspection Chamber
 - Communal bin
 - Communal bin
 - Close board timber fence (800mm high)
 - Back Street City
 - Rain Water Pipe
 - Soil Vent Pipe
 - Roofing Eye



Floor Areas

Main Building: Apartments 1, 2 & 3
 Building Footprint: 208m²
 * Floor area measured to inside of external walls

Floor	Area (m ²)
Ground Floor	102m ²
1st Floor	106m ²
2nd Floor	100m ²

Rear 2 Storey Apartment Block: Apartments 4 & 5
 Building Footprint: 72m²
 * Floor area measured to inside of external walls

Floor	Area (m ²)
Ground Floor	28.5m ²
1st Floor	28.5m ²
2nd Floor	15.0m ²

Rear Single Storey Apartment Block: Apartment 6
 Building Footprint: 68.5m²
 * Floor area measured to inside of external walls

Schedule of Accommodation:

Unit	Area (m ²)
Main Building: Apartment 1	33.5m ²
Main Building: Apartment 2	33.5m ²
Main Building: Apartment 3	41.0m ²
Rear 2 Storey Apartment Block: Apartment 4	28.5m ²
Rear 2 Storey Apartment Block: Apartment 5	28.5m ²
Rear Single Storey Apartment Block: Apartment 6	68.5m ²

SCHEME DESIGN / PLANNING DRAWING

owen ellis Architects

Venotia,
 Lon Sam Bach,
 Abercromby, LL53 7EB
 for Dave Cummings

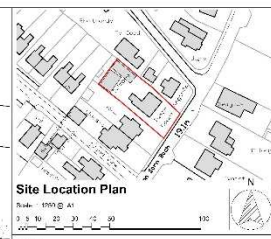
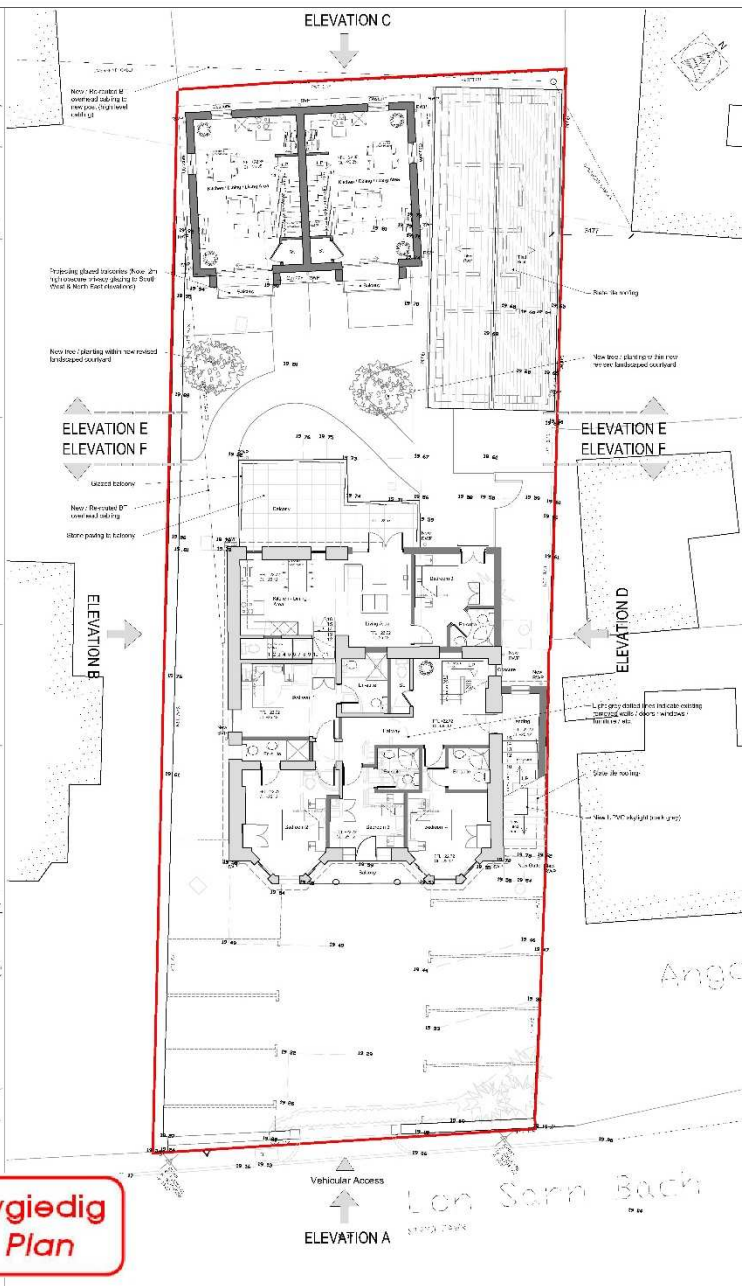
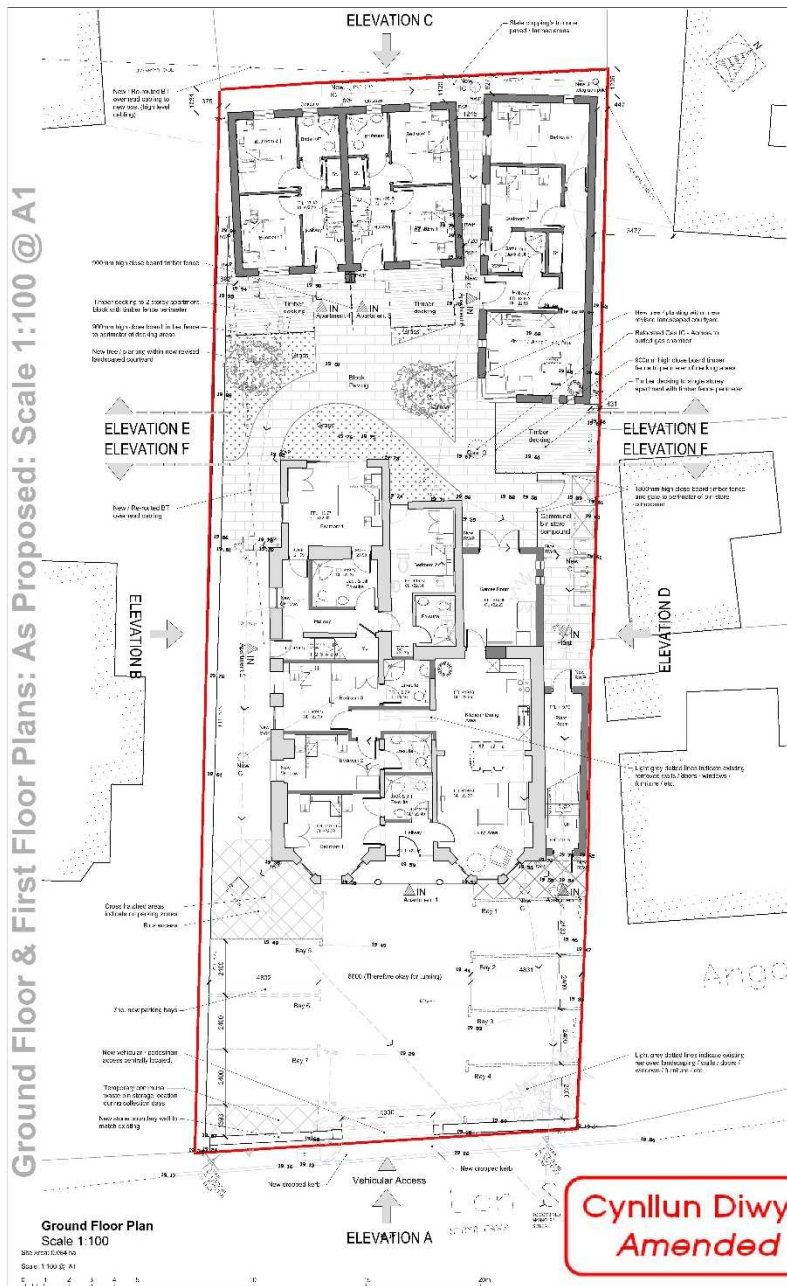
Site / Roof Plan:
 As Proposed

130754171

DATE	NO.	DESCRIPTION
13/07/2025	1	ISSUED FOR PERMIT

4130 SK10

Ground Floor & First Floor Plans: As Proposed: Scale 1:100 @ A1



Key:

- Site Boundary
- Indicative drainage made subject to site investigation works
- Existing Wall
- Proposed Wall
- FFL + XX.XXX First Floor Level
- CL + XX.XXX Ceiling Level

* For other key references refer to drawing SK10

Floor Areas:

Main Building: Apartments 1, 2 & 3
 Building Footprint: 202m²
 * Floor area measured to inside of external wall
Ground Floor: 70m² **Second Floor:** 53m²
 (Ex. Balcony area inc. Terrace)
First Floor: 60.5m²
 (Ex. Balcony area, inc. Balcony)

Individual Apartment Floor Areas:

Apartment 1: 63.0m² (Gross Area)
 (Gross Area)
 Apartment 2: 50.0m² (Gross Area)
 (Gross Area)
 Apartment 3: 3.5m² (Gross Area)
 (Gross Area)

Rear 2 Storey Apartment Block: Apartments 4 & 5
 Building Footprint: 72m²
 * Floor area measured to inside of external wall
Individual Apartment Floor Areas: (Apartments 4 & 5)
Ground Floor: 29.5m²
First Floor: 29.5m²
 (Ex. Balcony area, inc. Balcony @ 9.2m²)
Total Floor Area: 59m²
 (Gross Area)

Rear Single Storey Apartment Block: Apartment 6
 Building Footprint: 66.5m²
 * Floor area measured to inside of external wall
Apartment Floor Area: 65m²
 (Gross Area)

Schedule of Accommodation:

Main Building:
 Apartment 1: 395m²
 Apartment 2: 315m²
 Apartment 3: 415m²

Rear 2 Storey Apartment Block:
 Apartment 4: 254m²
 Apartment 5: 254m²

Rear Single Storey Apartment Block:
 Apartment 6: 214m²

Parking: 110% - 7 bays
 (Allocation of bays per Apartment = 1 additional bay)

NOTE:
 THE ABOVE FLOOR AREA FIGURES ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY. THE FINAL FLOOR AREA FIGURES WILL BE DETERMINED BY THE SURVEYOR ON SITE. THE CLIENT ACCEPTS THAT THE ABOVE FIGURES ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY. THE FINAL FLOOR AREA FIGURES WILL BE DETERMINED BY THE SURVEYOR ON SITE. THE CLIENT ACCEPTS THAT THE ABOVE FIGURES ARE APPROXIMATE AND SHOULD BE USED AS A GUIDE ONLY.

Cynllun Diwygiedig
Amended Plan

SCHEME DESIGN / PLANNING DRAWING

owen ellis Architects

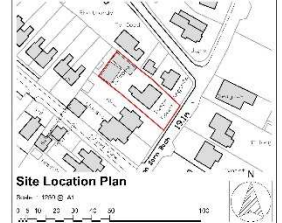
Venolia,
 Lon Samr Bach,
 Aberoch, LL53 7EB
 for Dave Cummings

Ground Floor & First Floor Plans,
 As Proposed

14130 SK11	July 2025 July 2025
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**Cynllun Diwygiedig
Amended Plan**

Second Floor Plan: As Proposed: Scale 1:100 @ A1



Site Location Plan

Scale: 1:500 @ A1
0 5 10 20 30 40 50 100

Key:

- Site Boundary
- Existing Footing made subject to site investigation works
- Existing Wall
- Proposed Wall
- F.F.L. + XX.XXX Finish Floor Level
- C.L. + XX.XXX Ceiling Level

* For other Key references refer to drawing SK10

Floor Areas:
Main Building: Apartments 1, 2 & 3
Building Footprint: 208m²
* Floor area measured to inside of external wall
Ground Floor: 70m² Second Floor: 53m²
(Ex. Shared void, inc. Balcony)
First Floor: 60.5m²
(Ex. Shared void, inc. Balcony)

Individual Apartment Floor Areas:
Apartment 1: 63.2m² (2nd Floor)
Apartment 2: 56.2m² (Ground Floor)
Apartment 3: 66.2m² (1st Floor & Balcony)
Apartment 4: 29.5m² (Ground Floor)
Apartment 5: 26.4m² (Ground Floor)
Apartment 6: 26.4m² (Ground Floor)

Schedule of Accommodation:
Main Building:
Apartment 1: 39SP
Apartment 2: 39SP
Apartment 3: 48SP
Rear 2 Storey Apartment Block:
Apartment 4: 26AP
Apartment 5: 26AP
Rear Single Storey Apartment Block:
Apartment 6: 26AP

Parking: 110% - 7 bays
(Allocation of 7 bays per Apartment = 4 additional bays)

NOTE:
THESE FLOOR AREA CALCULATIONS ARE TO BE USED FOR INFORMATION ONLY AND DO NOT REPRESENT A GUARANTEE OF ACCURACY. THE CLIENT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE CALCULATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE CALCULATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND OTHER RELEVANT AGENCIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE CALCULATIONS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND OTHER RELEVANT AGENCIES.

**SCHEME DESIGN /
PLANNING DRAWING**

**owen ellis
Architects**

Venotia,
Lon Samr Bach,
Aberoch, LL53 7EB
for Dave Cummings

Second Floor Plan:
As Proposed

1430 SK12

July 2025

Site Elevations: As Proposed: Scale 1:100 @ A1



Elevation A: South East
Scale 1:100



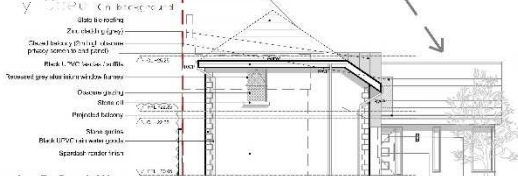
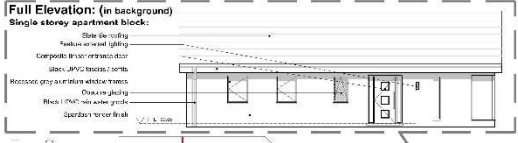
Elevation E: South East
Scale 1:100



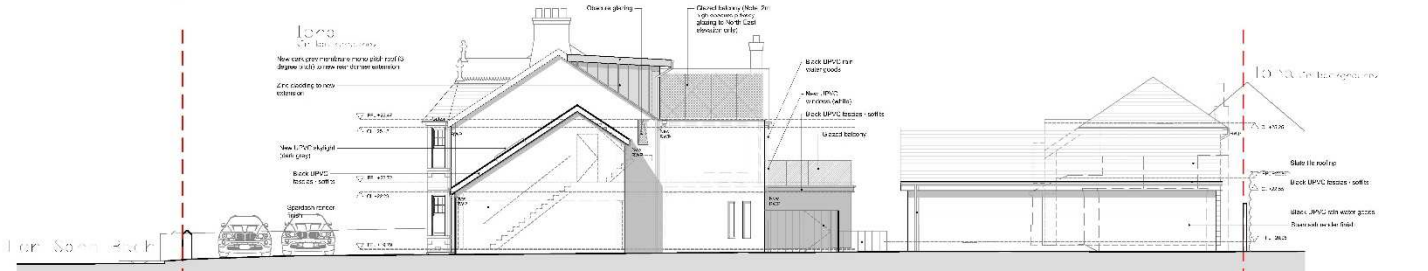
Elevation C: North West
Scale 1:100



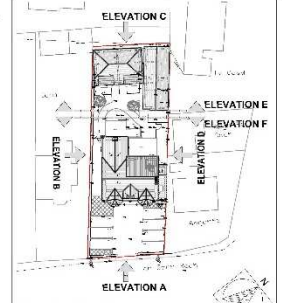
Elevation F: North West
Scale 1:100



Elevation B: South West
Scale 1:100



Elevation D: North East
Scale 1:100



Elevation Key Plan
Scale: 1:100 @ A1

Planning Notes:
Main Building:
 New pitched roofs: New pitched roofs to be slate tiles to match existing. New fascias and soffits to be timber / UPVC (black) to match existing.
 New flat roofs: New flat roofs to be zinc-cladding (grey) - see elevations. New balconies to have stone flag paving.
 New rainwater goods: New cast UPVC to match existing.
 New walls: New exterior walls to be insulated cavity wall construction with scaffold made finish to match existing. New masonry, cavity, etc elevations. Internal walls to be sound insulated timber stud partition or masonry.
 Windows / Doors: New white UPVC / aluminium windows and doors to match existing. New entrance doors to be UPVC / composite timber.
 Total approximate cubic area of new extensions only (state only):
 (1) Extensions: 275m³

2 Storey & Single Storey Row Apartment Blocks:
 New pitched roofs: Pitched roofs to be slate tiles. Fascias and soffits to be timber / UPVC (black) to match existing. Fascias and soffits to be on adjacent main building.
 New projecting canopies (2 Storey block only): Canopies to be timber / UPVC (black) to match existing.
 New rainwater goods: Black UPVC.
 New walls: External walls to be insulated cavity wall construction with scaffold made finish and feature stone quoins. Internal walls to be sound insulated timber stud partition or masonry.
 Windows / Doors: New white UPVC / aluminium windows and doors. Entrance door to be composite timber.
 Approximate cubic area (estimate):
 (1) 2 Storey Apartment Block: 280m³
 (2) Single Storey Apartment Block: 270m³

NOTES:
 1. ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.
 2. ALL WORK TO BE IN ACCORDANCE WITH THE PLANNING ACT 2008.
 3. ALL WORK TO BE IN ACCORDANCE WITH THE ENVIRONMENTAL IMPACT ASSESSMENT 2011.
 4. ALL WORK TO BE IN ACCORDANCE WITH THE ARCHITECTURAL DESIGN GUIDE 2013.
 5. ALL WORK TO BE IN ACCORDANCE WITH THE SUSTAINABLE DESIGN GUIDE 2013.
 6. ALL WORK TO BE IN ACCORDANCE WITH THE ACCESSIBILITY GUIDE 2013.
 7. ALL WORK TO BE IN ACCORDANCE WITH THE ENERGY EFFICIENCY GUIDE 2013.
 8. ALL WORK TO BE IN ACCORDANCE WITH THE CLIMATE CHANGE GUIDE 2013.
 9. ALL WORK TO BE IN ACCORDANCE WITH THE AIR QUALITY GUIDE 2013.
 10. ALL WORK TO BE IN ACCORDANCE WITH THE NOISE GUIDE 2013.
 11. ALL WORK TO BE IN ACCORDANCE WITH THE LIGHT GUIDE 2013.
 12. ALL WORK TO BE IN ACCORDANCE WITH THE MICROCLIMATE GUIDE 2013.
 13. ALL WORK TO BE IN ACCORDANCE WITH THE BIODIVERSITY GUIDE 2013.
 14. ALL WORK TO BE IN ACCORDANCE WITH THE CULTURAL HERITAGE GUIDE 2013.
 15. ALL WORK TO BE IN ACCORDANCE WITH THE LANDSCAPE GUIDE 2013.
 16. ALL WORK TO BE IN ACCORDANCE WITH THE OPEN SPACE GUIDE 2013.
 17. ALL WORK TO BE IN ACCORDANCE WITH THE PLAY GUIDE 2013.
 18. ALL WORK TO BE IN ACCORDANCE WITH THE SPORTS GUIDE 2013.
 19. ALL WORK TO BE IN ACCORDANCE WITH THE HEALTHY LIVING GUIDE 2013.
 20. ALL WORK TO BE IN ACCORDANCE WITH THE WELLBEING GUIDE 2013.

SCHEME DESIGN / PLANNING DRAWING

owen ellis Architects

Ventola,
 Lon Sami Bach,
 Aberoch, LL53 7EB
 for Dave Cummings

Site Elevations:
 As Proposed
 July 2023
 1:100 @ A1

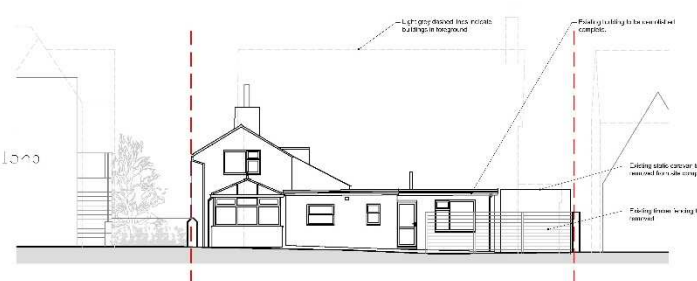
4130 SK13

Cynllun Diwygiedig
Amended Plan

Site Elevations: As Existing: Scale 1:100 @ A1



Elevation A: South East
Scale 1:100



Elevation E: South East
Scale 1:100



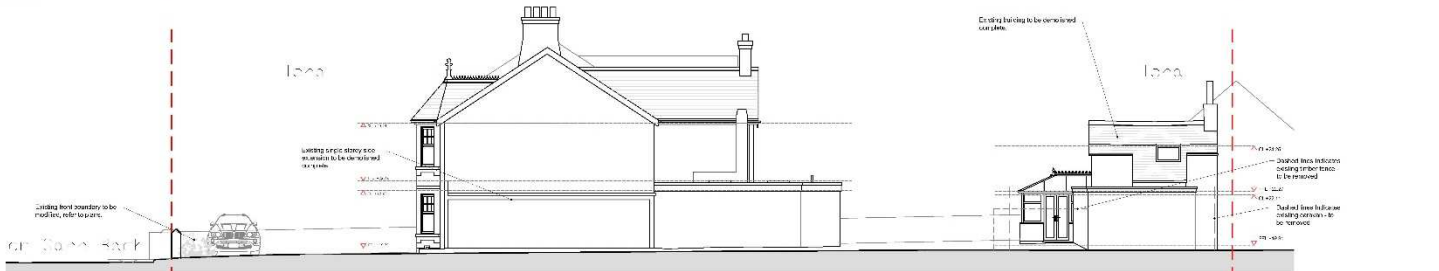
Elevation C: North West
Scale 1:100



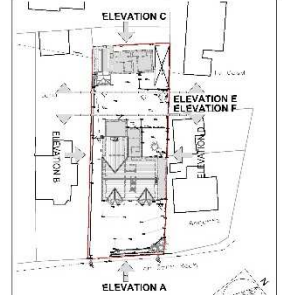
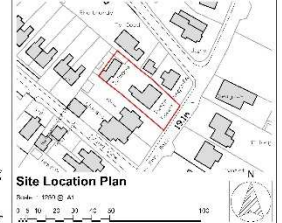
Elevation F: North West
Scale 1:100



Elevation B: South West
Scale 1:100



Elevation D: North East
Scale 1:100



Elevation Key Plan
Scale: 1:100 @ A1

Key:
--- Site Boundary

Cynllun Diwygiedig
Amended Plan

Planning Notes:

Pitched roofs: Slate pitched roofs, fascias and soffits timber / UPVC (white).

Flat roofs: felt / bitumen.

Rainwater goods: Black (or painted white) UPVC.

Walls: External (assumed solid due to age of property) will be finished with appropriate render and decorative agbrackren / stone window cills. Internal walls in clear stud masonry.

Windows / Doors: White UPVC windows and doors.

NOTE:
This plan is a design proposal and does not constitute a contract. It is subject to the terms and conditions of the contract between the client and the architect. The client is responsible for ensuring that the proposed works are in accordance with the relevant planning and building regulations. The architect is not responsible for the accuracy of the information provided by the client.

SCHEME DESIGN / PLANNING DRAWING

owen ellis Architects

Venolia,
Llan Sam Bach,
Aberoch, LL53 7EB
for Dave Cummings

Site Elevations:
As Existing

1130 SU03

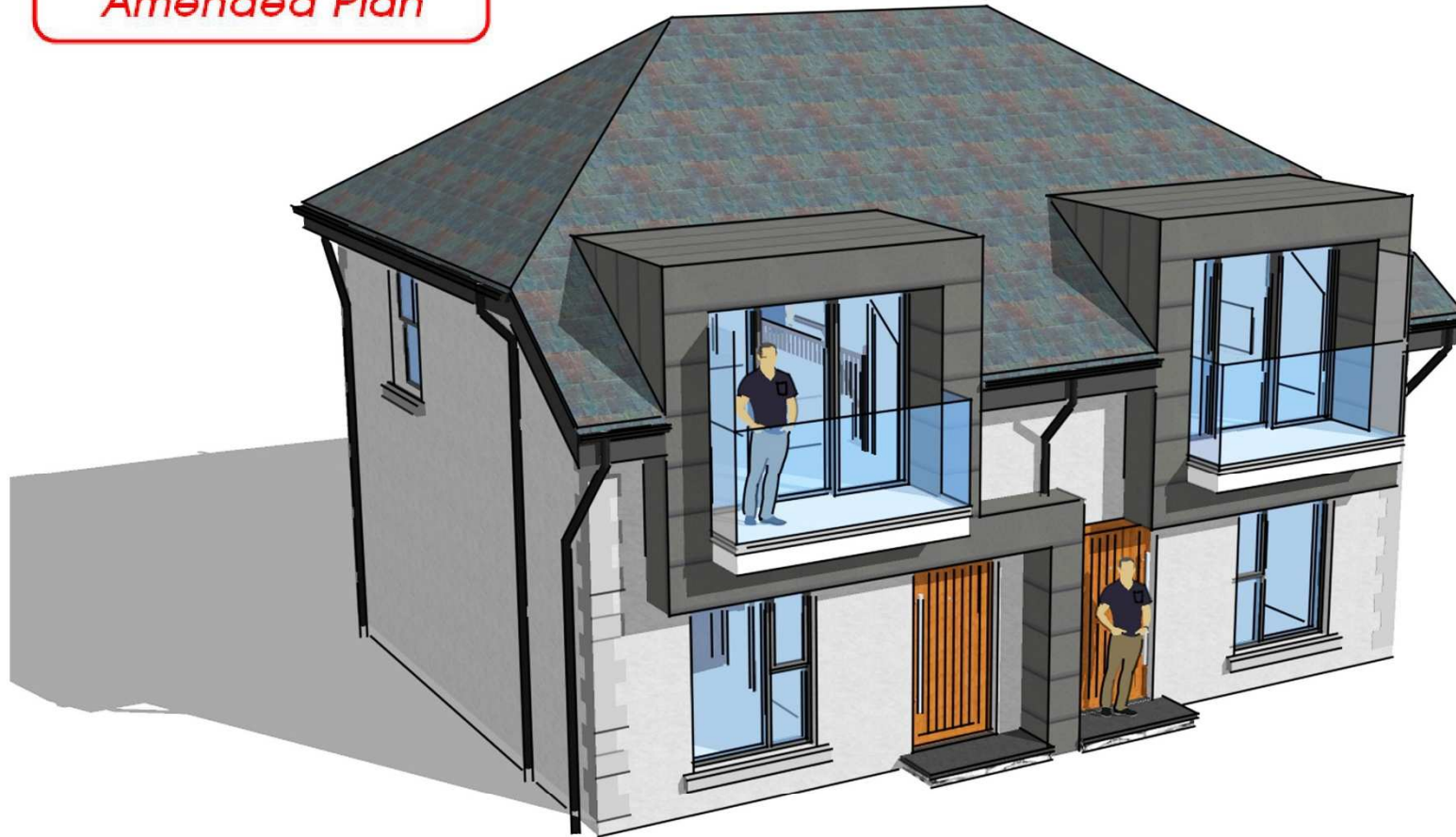
2020/08/2019
1:100 @ A1

Cynllun Diwygiedig
Amended Plan



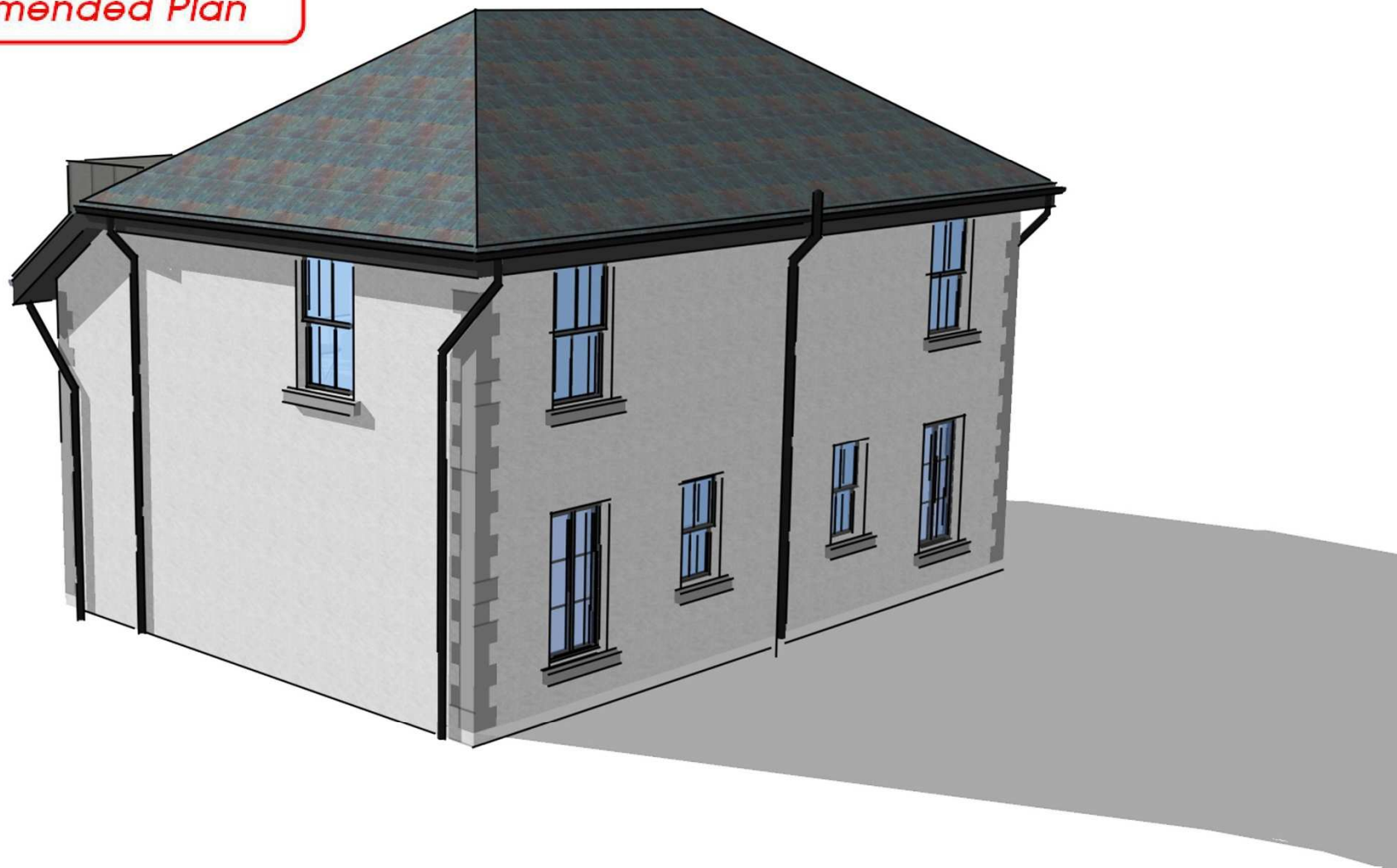
4130 - Venetia, Abersoch
Apartment Block - External Perspective - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Apartment Block - Front Elevation Overview - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Apartment Block - Rear Elevation Overview - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Apartment Block - Sectional Perspective - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Main Building - External Overview (East) - Rev A

Cynllun Diwygiedig
Amended Plan



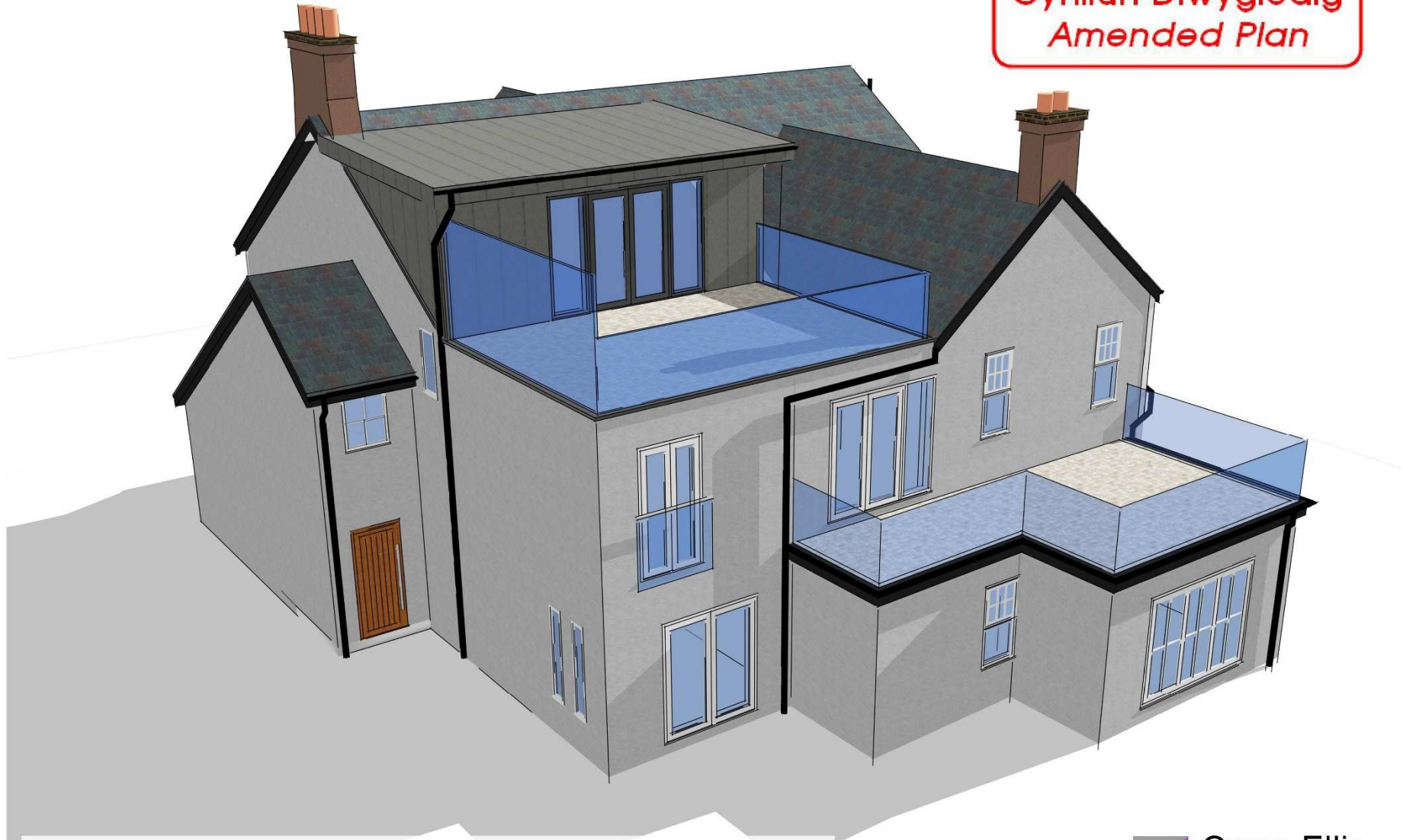
4130 - Venetia, Abersoch
Main Building - External Overview (South) - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Main Building - External Overview (West) - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Main Building - External Overview (North) - Rev A

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Proposed Site - Overview 1

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Proposed Site - Overview 2

Cynllun Diwygiedig
Amended Plan



4130 - Venetia, Abersoch
Proposed Site - Overview 3

Cynllun Diwygiedig
Amended Plan



7

4130 - Venetia, Abersoch
Proposed Site - Overview 4

















