



Cynllunio

Derbyn - 06/05/2022

0m 50m 100m 150m 200m A1

VISUAL SCALE 1:2500 @ A1

This drawing must be printed in colour to be read correctly

Notes
 Figure dimensions are to be used in all cases.
 Dimensions should not be scaled from drawing.
 All existing dimensions should be checked on site before commencement of the work.
 Any discrepancies in dimensions should be clarified with the Architect prior to commencement of the work.
 No deviation from the drawing will be permitted without the prior written consent of the Architect.
 This drawing is to be read in conjunction with all the relevant Mechanical and Electrical Drawings.
 This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.
 This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Risk Assessment which contains all current and active designations and have been identified for Llandudno (Micheal Architects) in accordance with the CDM Regulation 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.

P3	Technical Drawing	ET	MR	01/06/22
P2	Design based on client's requirements	EP	MR	01/05/22
P1	Design based on client's requirements	ET	MR	01/04/22
Rev	Rev	Rev	Rev	Rev

LM
 Llandudno Michael Architects
 5 Stryker Street, Cymru, CH1 2LS
 Tel: +44 (0) 1244 494921
 e-mail: admin@landudnomichael.com
 web: www.landudnomichael.com

Project:
 ClwydAlyn - Penrhos Polish Village
 Penrhos, Pwllheli LL53 7HN

The
Cynllunio
 Planning_LocationPlan
 PlanUsytuowania

LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7000	P3

Cynllunio CynllunioLeoliad
 Planning_LocationPlan
 PlanUsytuowania
 Scale: 1:2500



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Note

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This drawing must be read in conjunction with LMA drawing
7500_Strategy_DesignandRiskAssessment which indicates all current and
active designers risks that have been identified by Lowick Mitchell
Architects in accordance with the CDM Regulations 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



P2	Drawing issued for Plotting	ST	MR	01.04
P1	Drawing issued to Client for comments	ST	MR	15.03
Rev	Revisions description	Drawn	Checked	Date



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3 Stanley Street, Chester, CH1 2
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e-mail: zylm@knowledgeknight.com
 web: www.knowledgeknight.com

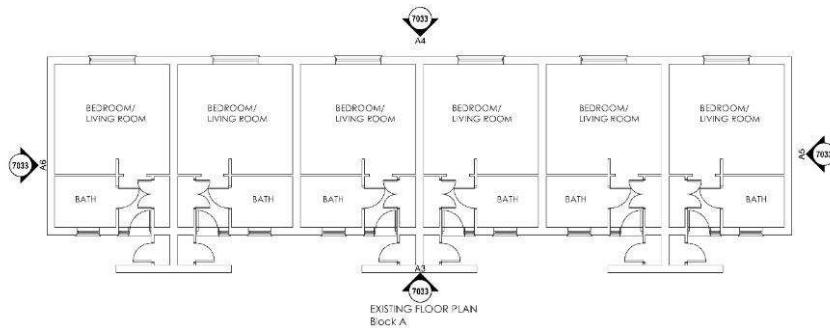
Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Planning_ExistingBuildings_Block_51_Sheet1

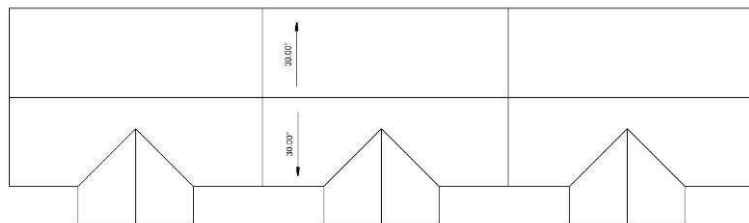
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1708	PHS	LMA	00	XX	DR	A	7030	P2



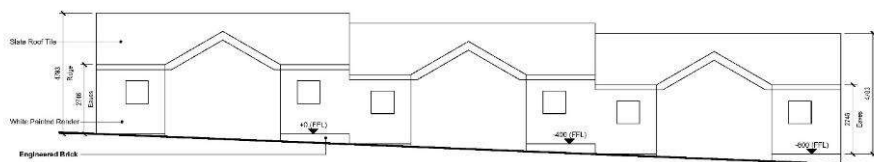
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	Project	Region	City	State	County	Map	Worksheet	
1708	PHS	LMA	00	XX	DR	A	7032	P2



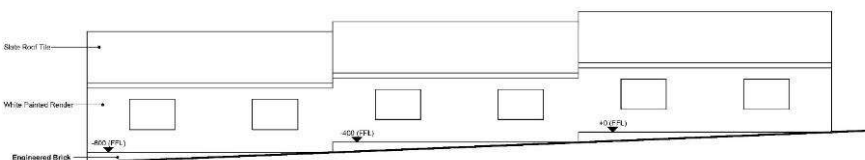
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A2 Block-A RF-Roof
Scale: 1 : 100



A3 Block-A Elevation
Scale: 1 : 100

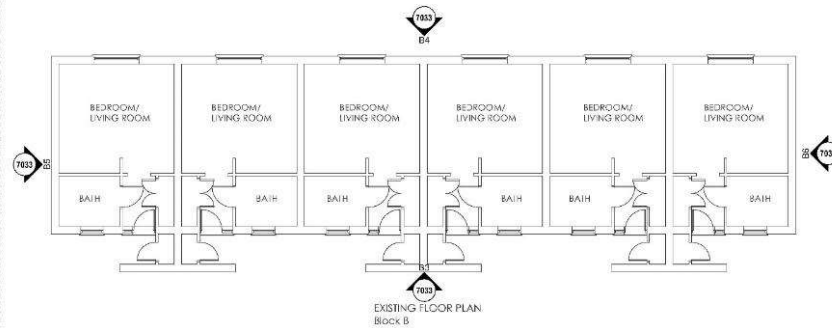


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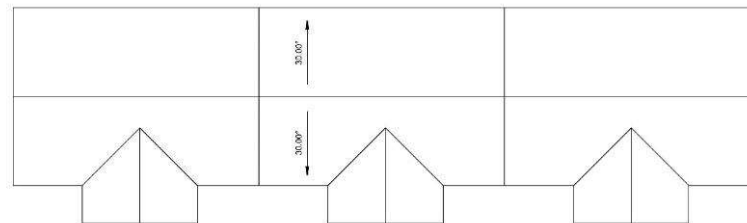


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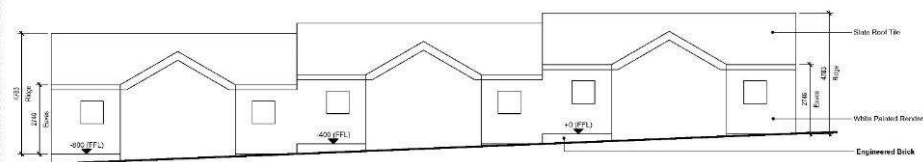
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Scale: 1 : 100



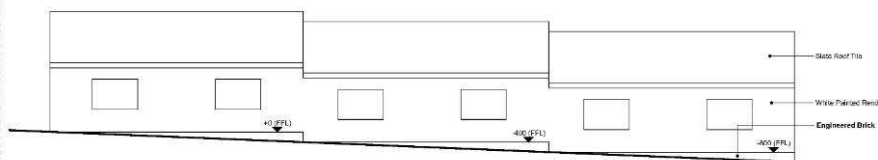
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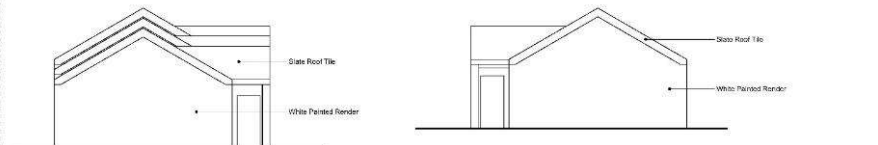
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B3 Block-B Elevation
Scale: 1 : 100



B4 Block-B Elevation
Scale: 1 : 100



B5 Block-B Elevation
Scale: 1 : 100

B6 Block-B Elevation
Scale: 1 : 100

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

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This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Risk Assessment which contains all current and active design data that have been identified for Llanelli (Methen) Architects in accordance with the CDM Regulation 2015.

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Cynllunio
Derbyn - 06/05/2022

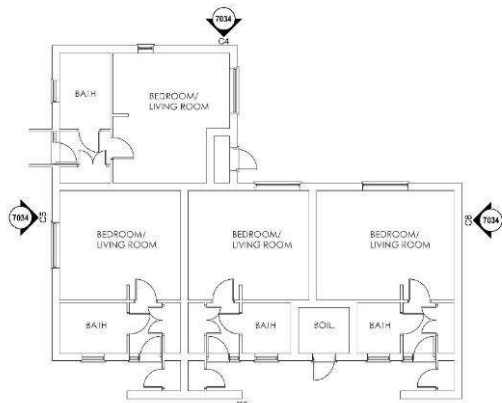
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P1	Drawings issued to Client for comments	EF	MR	15/04/22
Rev	Revised description	Drawn	Checked	Drawn

LMA
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e-mail: admin@llanellimethod.com
web: www.llanellimethod.com

Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

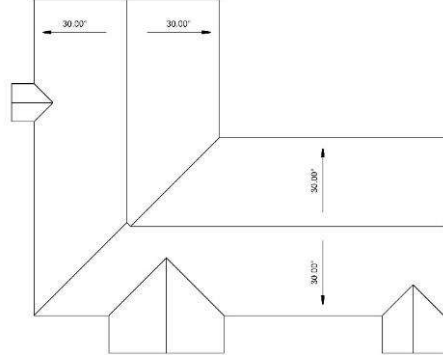
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Planning Existing Buildings Block A_B

LMA Project	Drawing number	Rev
1708	PHS/LMA 00 XX/DR A 7033	P2

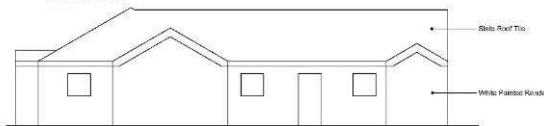


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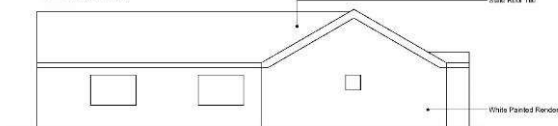
EXISTING FLOOR PLAN
Block C



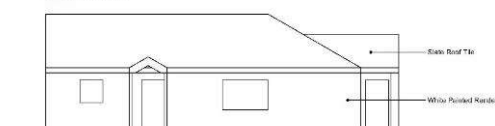
C2 Block-C_RF-Roof
Scale: 1:100



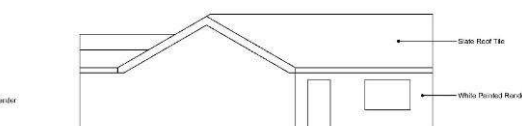
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Scale: 1:100



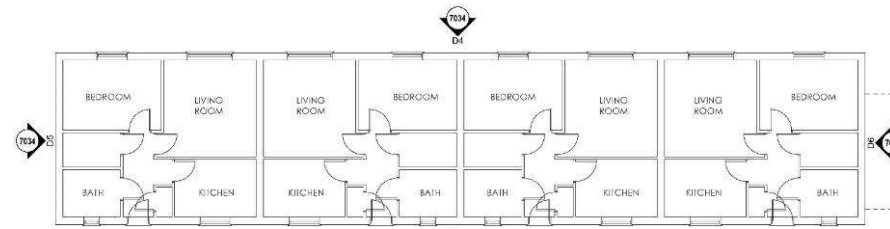
C4 Block-C Elevation
Scale: 1:100



C5 Block-C Elevation
Scale: 1:100

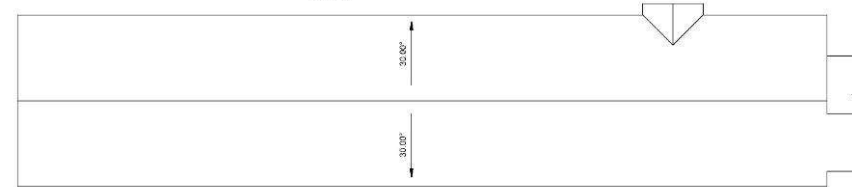


C6 Block-C Elevation
Scale: 1:100

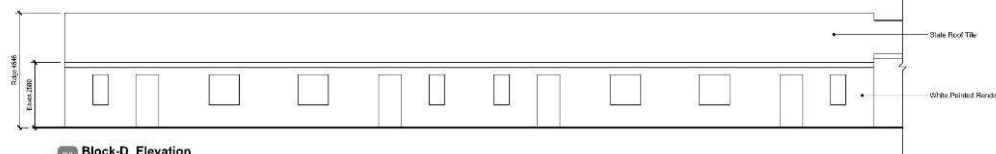


D1 Block-D_00-Ground
Scale: 1:100

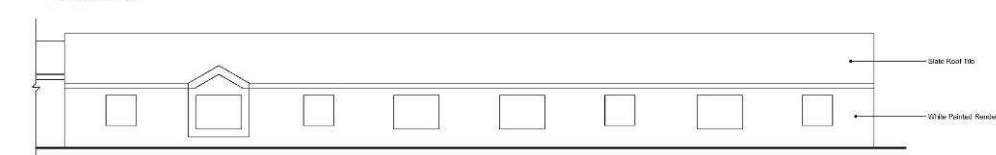
EXISTING FLOOR PLAN
Block D



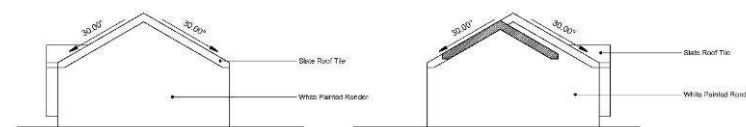
D2 Block-D_RF-Roof
Scale: 1:100



D3 Block-D Elevation
Scale: 1:100



D4 Block-D Elevation
Scale: 1:100



D5 Block-D Elevation
Scale: 1:100

D6 Block-D Elevation
Scale: 1:100

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

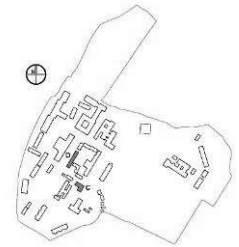
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This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.
This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Risk Assessment which contains all current and active design and risk assessment information for Llanelli (Methen) Archdiocese in accordance with the CDM Regulations 2015.

This drawing is copyright and is to be returned to the architect on completion of the contract.



0m 2m 4m 6m 8m A1

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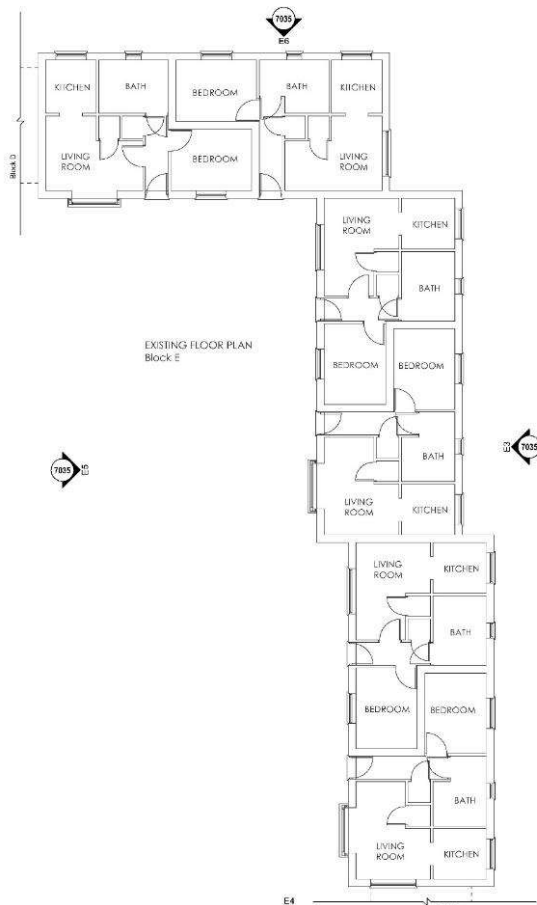
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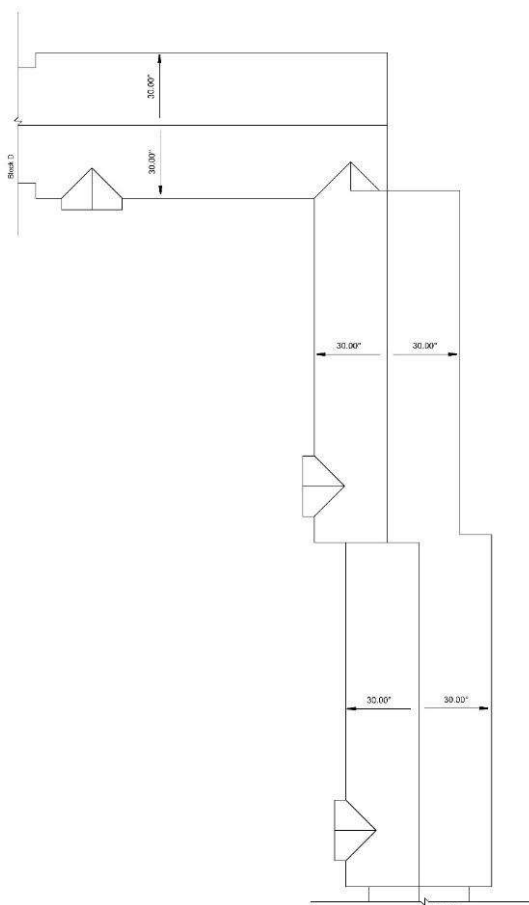


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Derbyn - 06/05/2022

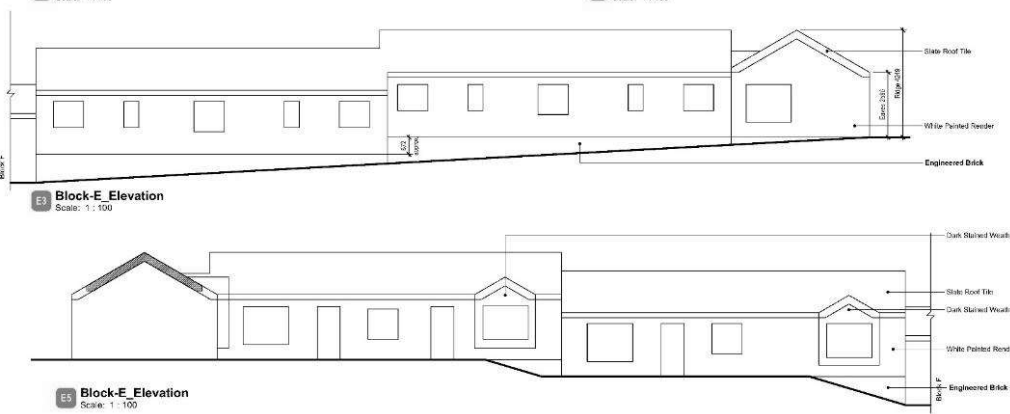


EXISTING FLOOR PLAN
Block E



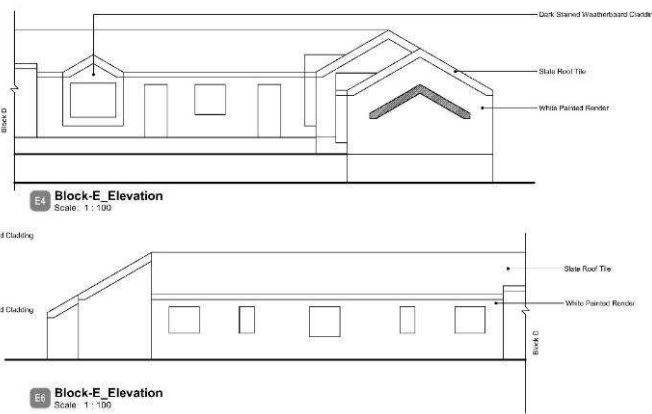
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Scale: 1 : 100

E2 Block-E_RF-Roof
Scale: 1 : 100



E3 Block-E_Elevation
Scale: 1 : 100

E5 Block-E_Elevation
Scale: 1 : 100



E4 Block-E_Elevation
Scale: 1 : 100

E6 Block-E_Elevation
Scale: 1 : 100

P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/04/22
Rev	Revision Description	Drawn	Checked	Date

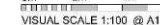
LMA
Llandek Mithel Architects
5 Stryker Street, Cymru, C191 2LS
Tel: +44 (0) 1244 494921
e-mail: admin@llandekmithel.com
web: www.lllandekmithel.com

Project:
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title:
Planning_ExistingBuildings_Block_E

LMA Project	Drawing number	Rev
1708	PHS/LMA_00_XX/DR_A/7035	P2

Derbyn - 06/05/2022



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Notes

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Engineer's drawings, structural calculations and recommendations.
This drawing is to be read in conjunction with the relevant Fire Safety
Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7500_Strategy_DesignersRiskAssessment which indicates all current and active designers risks that have been identified by Lovelock Mitchell Architects in accordance with the CDM Regulations 2015.

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Lowell Mitchell Architects
35 Crosby Street, Chelsea, CH1 2UJ
Tel: +44 (0)20 7354 4054

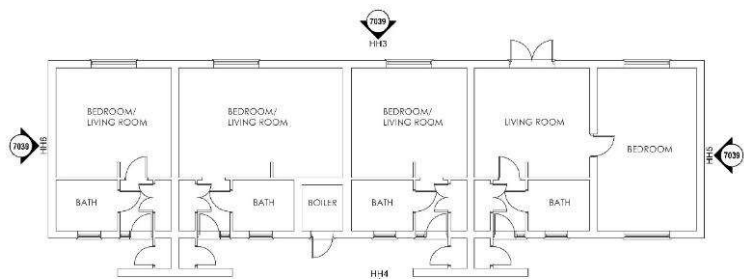


e-mail: admin@knowlockmitchell.com
web: www.knowlockmitchell.com

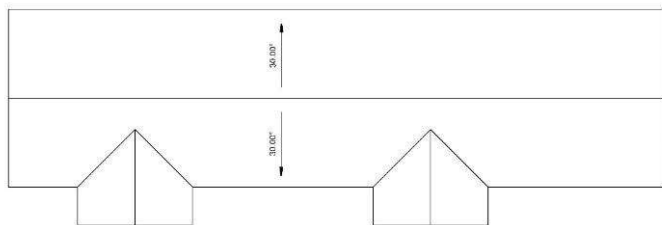
Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Planning_ExistingBuildings_Block_F_Sheet2

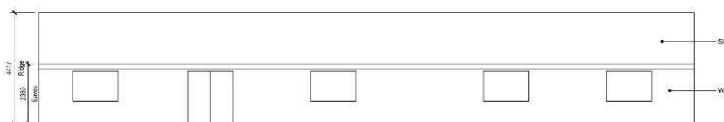
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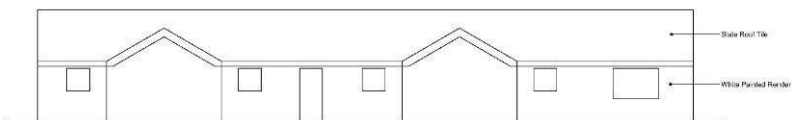
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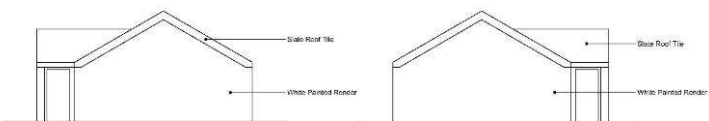
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HH3 Block-HH_Elevation
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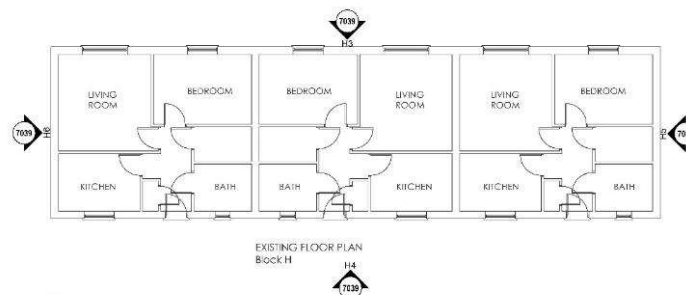


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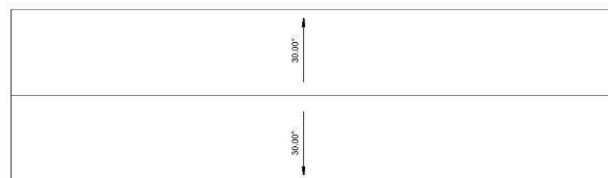


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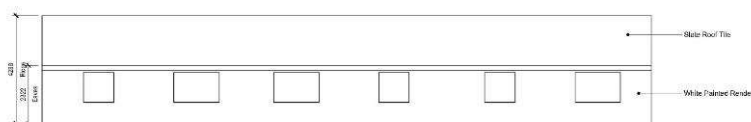
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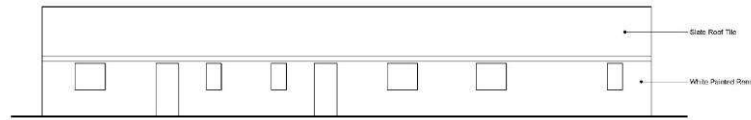
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H2 Block-H_RF-Roof
Scale: 1 : 100



H3 Block-H_Elevation
Scale: 1 : 100



H4 Block-H_Elevation
Scale: 1 : 100



H5 Block-H_Elevation
Scale: 1 : 100

H6 Block-H_Elevation
Scale: 1 : 100

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

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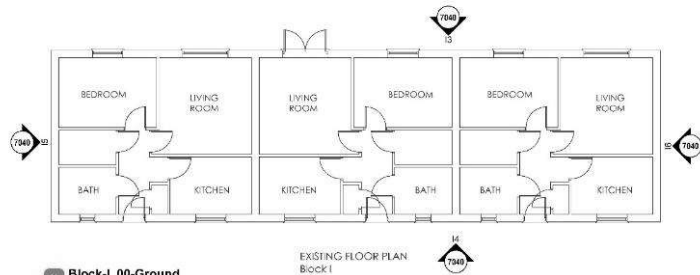
P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/04/22
Rev	Drawings Description	Drawn	Checked	Date

LMA
Llanelli Michael A. Roberts
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Tel: +44 (0) 1444 494321
e-mail: admin@llanellimichael.com
web: www.llanellimichael.com

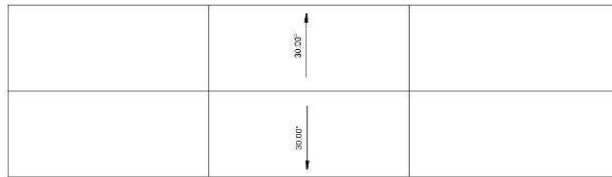
Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning Existing Buildings Block H_HH

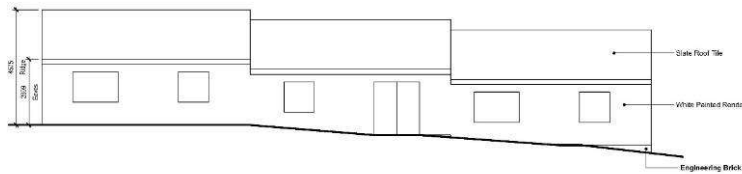
LMA Project	Drawing number	Rev
1708	PHS/LMA/00/XX/DR/A/7039/P2	P2



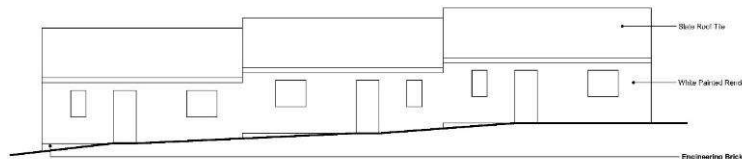
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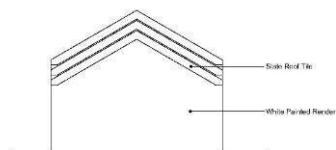
12 Block-I_RF-Roof
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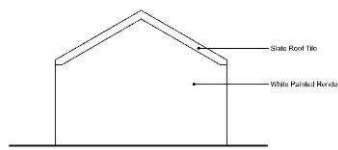
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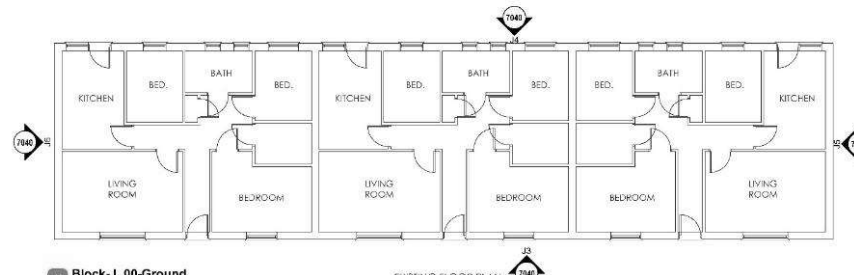
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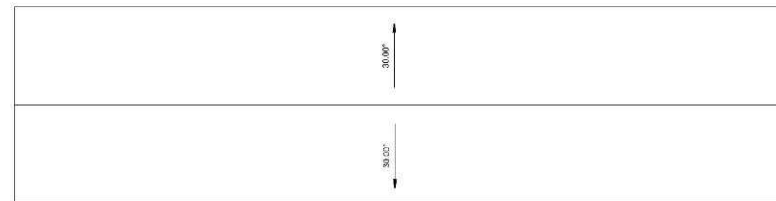
15 Block-I Elevation
Scale: 1:100



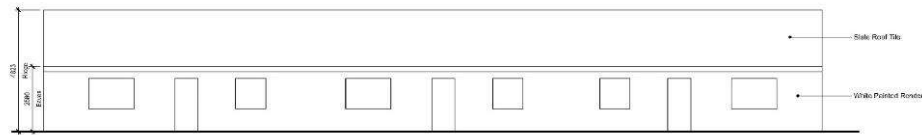
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Scale: 1:100



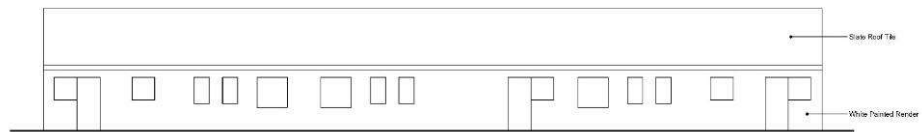
17 Block-J_00-Ground
Scale: 1:100



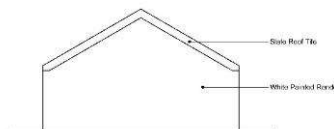
18 Block-J_RF-Roof
Scale: 1:100



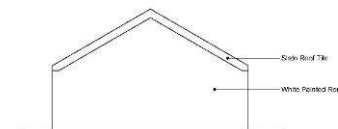
19 Block-J Elevation
Scale: 1:100



20 Block-J Elevation
Scale: 1:100



21 Block-J Elevation
Scale: 1:100



22 Block-J Elevation
Scale: 1:100

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

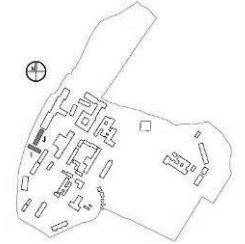
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Notes

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This drawing is to be read in conjunction with all the relevant Mechanical and Electrical Drawings.
This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.
This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Risk Assessment which contains all current and active design and risk items identified for Llanelli Station.
Architects in accordance with the CDM Regulation 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



Cynllunio
Derbyn - 06/05/2022

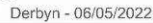
P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/04/22
Rev	Rev	Drawn	Checked	Date

LMA
Llanelli Mechanical & Electrical
5 St. David's Street, Carmarthen, SA31 2LS
Tel: +44 (0) 1292 454521
e-mail: admin@llanellimelectrical.com
web: www.llanellimelectrical.com

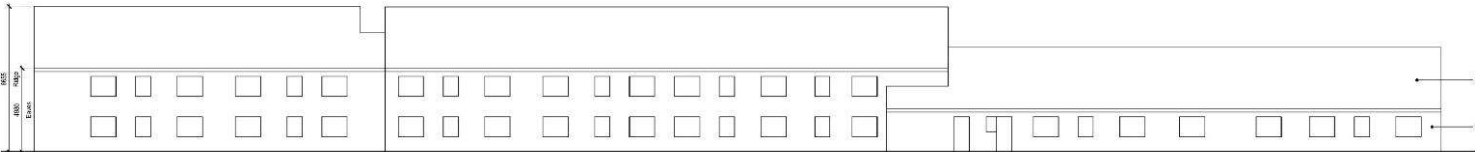
Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_I_J

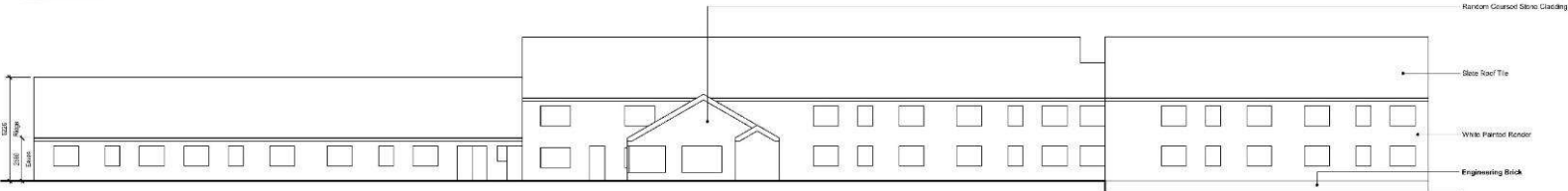
LMA Project	Drawing number	Rev
1708	PHS/LMA_00_XX/DR_A/7040	P2



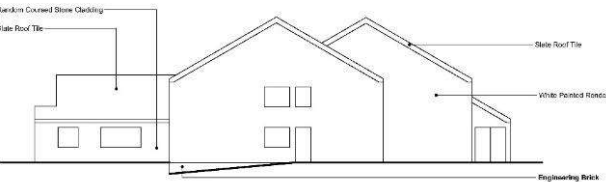
K3 Block-K₁
Scale: 1 : 150



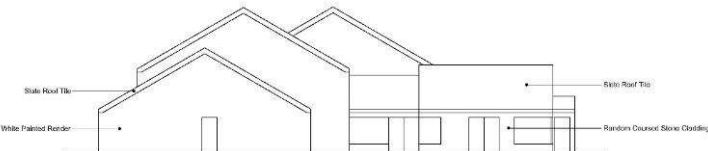
Block-K₁
Scale: 1 : 150



KS Block-K_1
Scale: 1 : 150



K6 Block-K_1
Scale: 1 : 150



K7 Block-K
Scale: 1 : 150



VISUAL SCALE 1:150 @ A1

This drawing must be printed in colour to be used correctly

Notes

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Discrepancies in dimensions should be clarified with the Architect prior to commencement of the work.

No deviation from this drawing will be permitted without the prior written consent of the Architect.

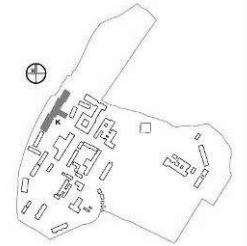
This drawing is to be read in conjunction with all the relevant Mechanical and Electrical drawings.

This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.

This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7500 Strategy Design and Risk Assessment which indicates all current and active designers risks that have been identified by Lovelock Mitchell Architects in accordance with the CDM Regulations 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



P2	Drawing issued for Planning	ST	MR	01.04.22
P1	Drawing issued to Client for comments	ST	MR	15.03.22
Rev:	Revise or description	Drawn	Checked	Date



Lovell Mitchell Architects
3 Siskinby Street, Chester, CH1 2LS
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e-mail: edding@lovelockmitchell.com
 web: www.lovelockmitchell.com

Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_K_
Sheet2

LMA Project	Drawing number							Rev
	1-2	3-4	5-6	7-8	9-10	11-12	13-14	
1708	PHS	LMA	00	XX	DR	A	7042	P2

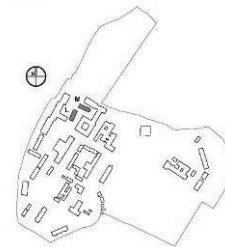
0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

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This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Assessment work, submitted at current and actual design stage and have been identified for Llandek Mithel Architects in accordance with the CDM Regulation 2015.
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Cynllunio
Derbyn - 06/05/2022

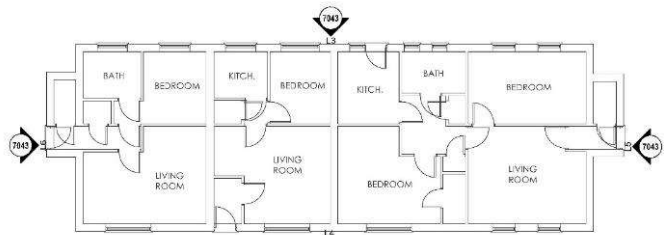
P2	Drawings issued for Planning	EF	MB	15/04/22
P1	Drawings issued to Client for comments	EF	MB	15/03/22
Rev	Revisions/Description	Drawn	Checked	Date

LM
Llandek Mithel Architects
5 Stryd-y-Strad, Cymmer, C19 2LS
Tel: +44 (0) 1244 494321
e-mail: admin@llandekmithel.com
web: www.llandekmithel.com

Project
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

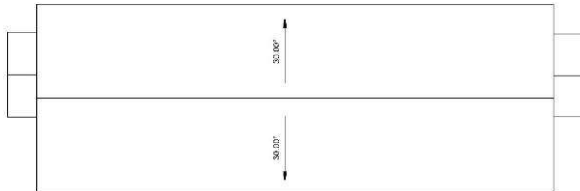
Title
Planning Existing Buildings Block L_M

LMA Project	Drawing number	Rev
1708	PHS/LMA/00/XX/DR/A/7043	P2

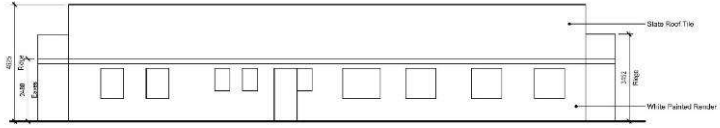


L1 Block-L_00-Ground
Scale: 1:100

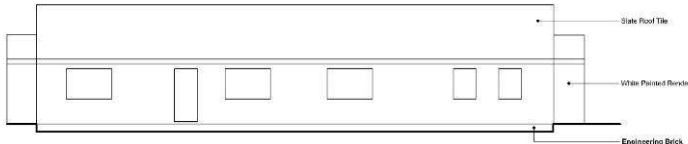
EXISTING FLOOR PLAN
Block L



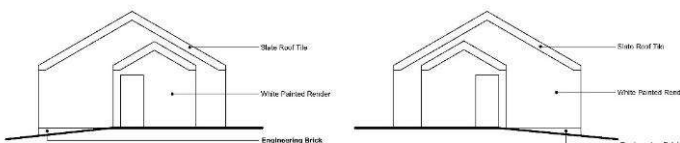
L2 Block-L_RF-Roof
Scale: 1:100



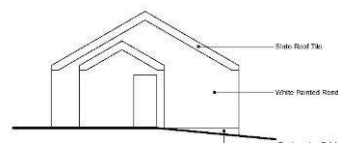
L3 Block-L_Elevation
Scale: 1:100



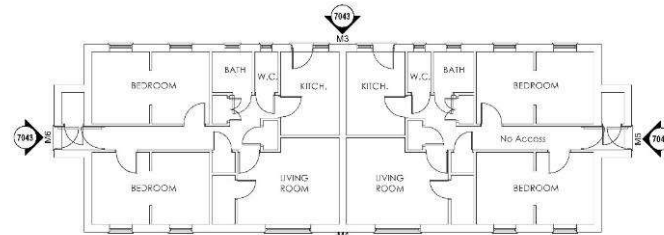
L4 Block-L_Elevation
Scale: 1:100



L5 Block-L_Elevation
Scale: 1:100

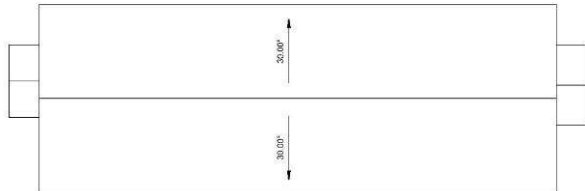


L6 Block L_Elevation4
Scale: 1:100

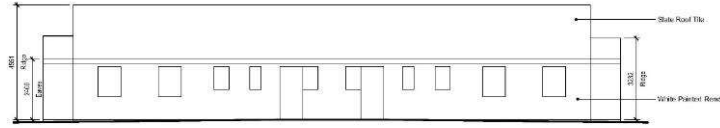


M1 Block-M_00-Ground
Scale: 1:100

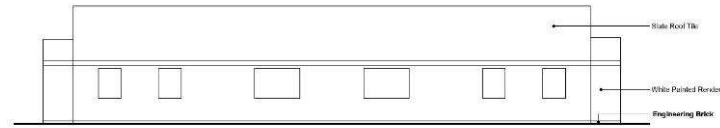
EXISTING FLOOR PLAN
Block M



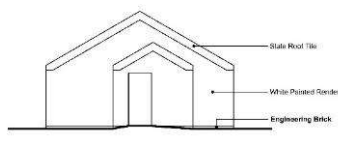
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Scale: 1:100



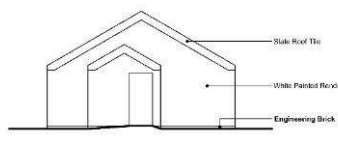
M3 Block-M_Elevation
Scale: 1:100



M4 Block-M_Elevation
Scale: 1:100



M5 Block-M_Elevation
Scale: 1:100



M6 Block-M_Elevation
Scale: 1:100

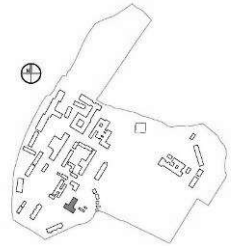
Derbyn - 06/05/2022



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This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

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Lovell Mitchell Architects
3 Stanley Street, Chester, CH1 2LS
Tel +44 (0)1244 205493

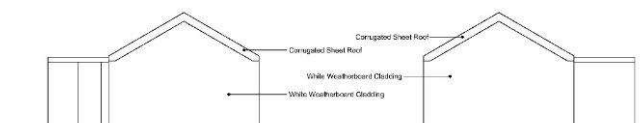
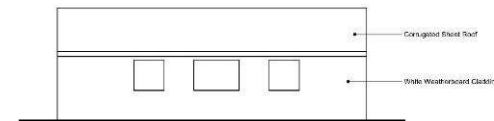
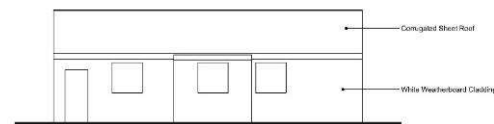
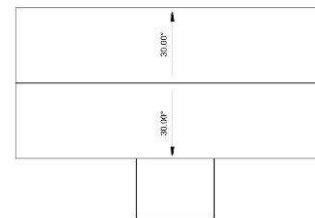
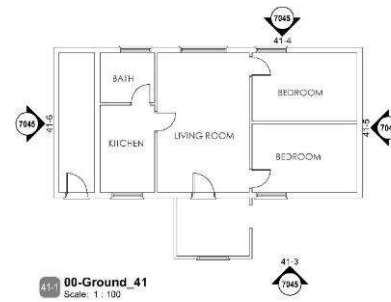
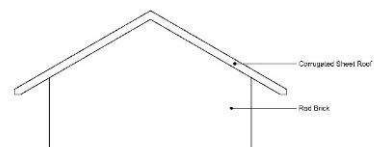
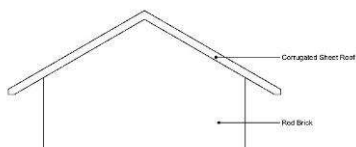
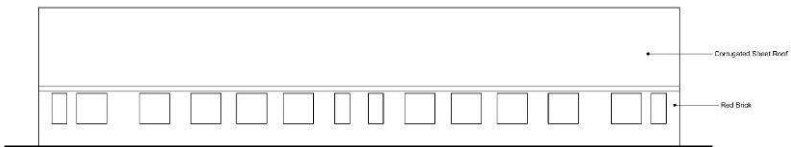
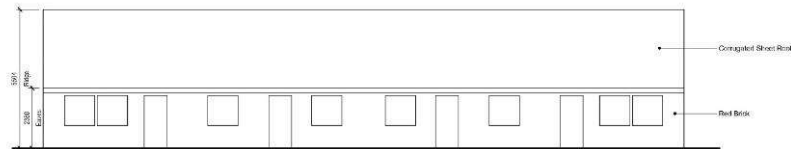
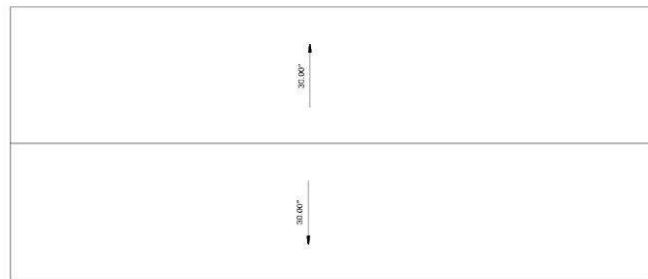
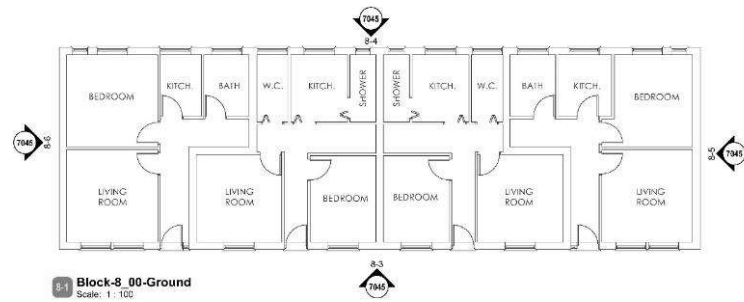


e-mail: edwin@knoelckmitchell.com
web: www.knoelckmitchell.com

Project:
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_6

LMA Project	Drawing number							Rev.
	Project	Region	Area	Code	Unit	Class	Drawings no.	
1708	PHS	LMA	00	XX	DR	A	7044	P2



Block-41 Elevation
Scale: 1 : 100

Block-41 Elevation
Scale: 1 : 100

Cynllunio
Derbyn - 06/05/2022

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

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Notes

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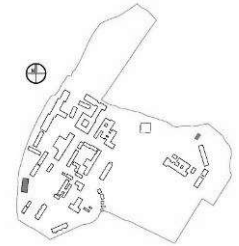
This drawing is to be read in conjunction with all the relevant Mechanical and Electrical Drawings.

This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.

This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Assessment with locations at current and actual design levels and have been identified for Llandek Mithel Architects in accordance with the CDM Regulation 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/04/22
Rev	Drawings issued	Drawn	Checked	Drawn

LMA

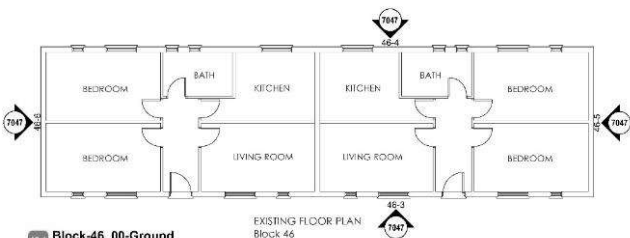
Llandek Mithel Architects
3 Stryker Street, Cymru, CH1 2LS
Tel: +44 (0) 1244 494921

e-mail: admin@llandekmithel.com
web: www.llandekmithel.com

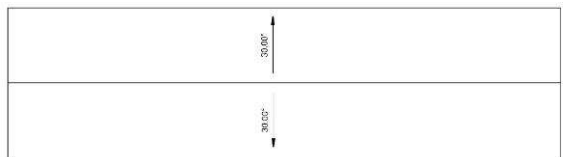
Project
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_8_41

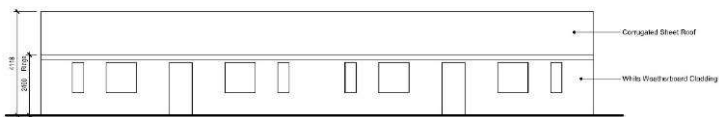
LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7045 P2	



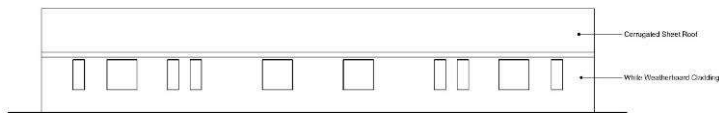
Block-46_00-Ground
Scale: 1:100



Block-46_RF-Roof
Scale: 1:100



Block-46_Elevation
Scale: 1:100



Block-46_Elevation
Scale: 1:100



Block-46_Elevation
Scale: 1:100

Block-46_Elevation
Scale: 1:100

Cynllunio

Derbyn - 06/05/2022

0m 2m 4m 6m 8m A1

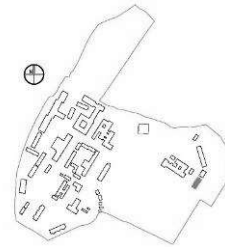
VISUAL SCALE 1:100 @ A1

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Notes
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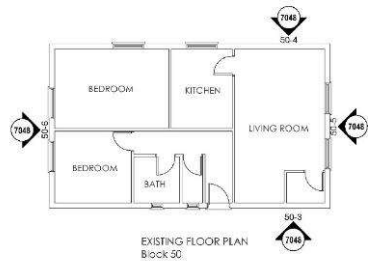
P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/03/22
Rev	Revised Description	Drawn	Checked	Date

Llandek Mithel Architects
5 Stryker Street, Cymmer, Cymru LL53 7HN
Tel: +44 (0) 1244 494921
e-mail: admin@llandekmithel.com
web: www.llandekmithel.com

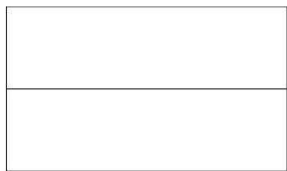
Project
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_46

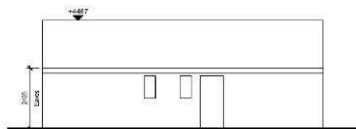
LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7047	P2



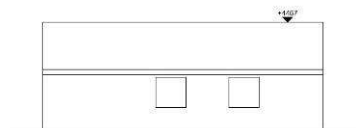
50-1 Block-50_00-Ground
Scale: 1:100



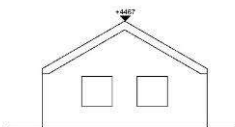
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Scale: 1:100



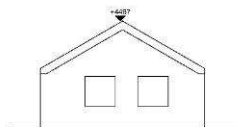
50-3 Block-50_Elevation
Scale: 1:100



50-4 Block-50_Elevation
Scale: 1:100



50-5 Block-50_Elevation
Scale: 1:100



50-6 Block-50_Elevation
Scale: 1:100

Cynllunio
Derbyn - 06/05/2022

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

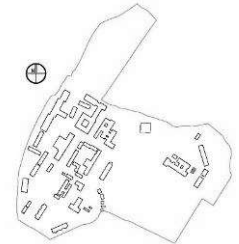
This drawing must be printed in colour to be read correctly

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Architects in accordance with the CDM Regulations 2015.

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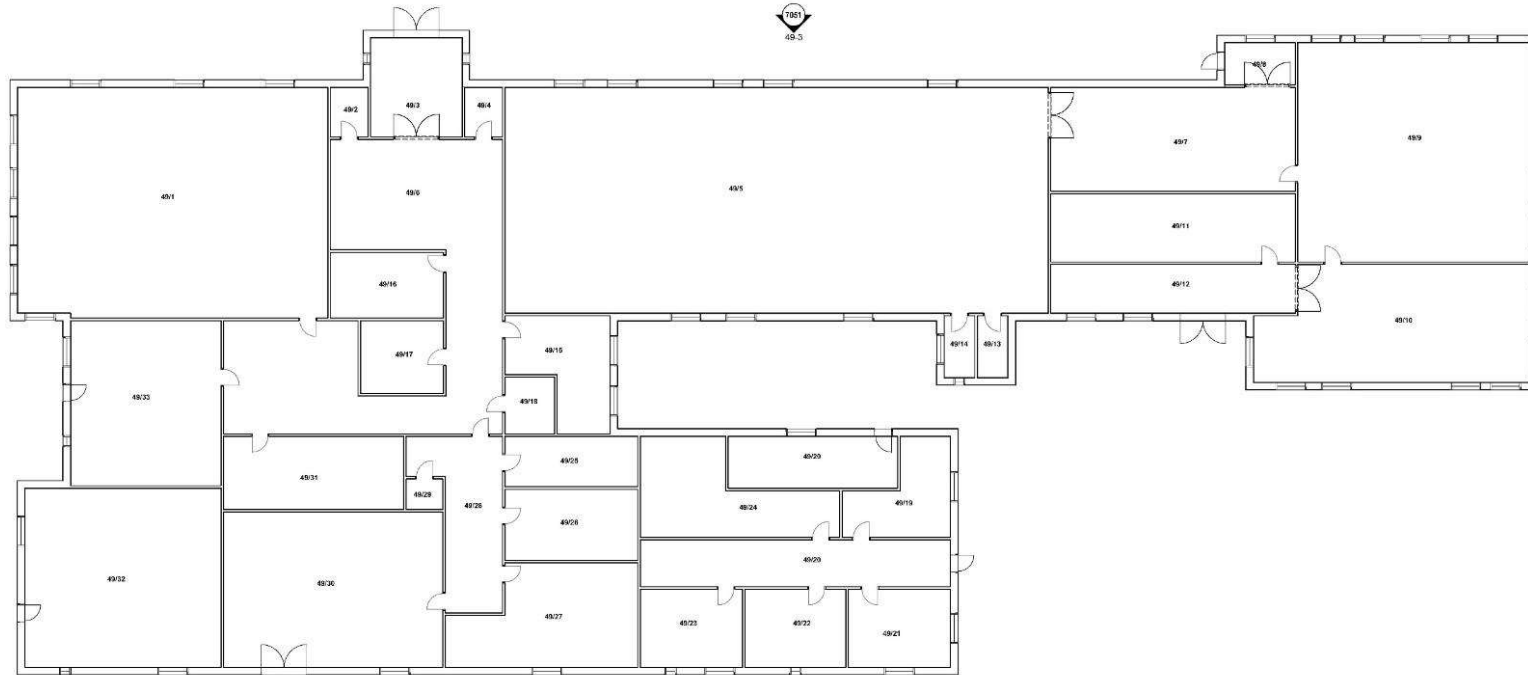
P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/03/22
Rev	Rev	Drawn	Checked	Date

LMA
Llandek Mithel & Associates
5 Stryker Street, Cymmer, Cymru, LL53 2LS
Tel: +44 (0) 1244 494921
e-mail: admin@llandekmithel.com
web: www.llandekmithel.com

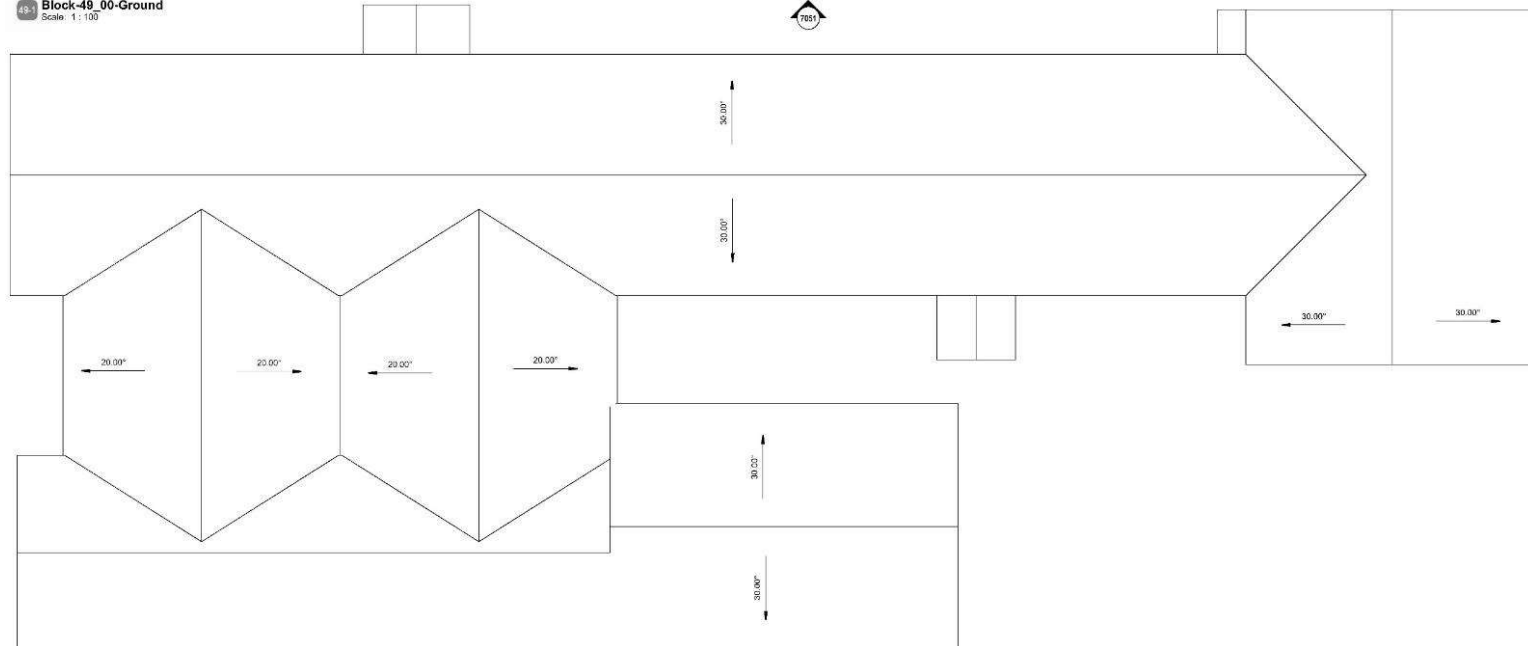
Project
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_50

LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7048	P2



49-00 Block-49_00-Ground
Scale: 1:100



49-00 Block-49_RF-Roof
Scale: 1:100

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

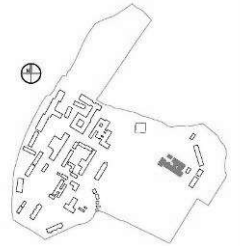
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P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/03/22
Rev	Rev	Drawn	Checked	Date



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Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

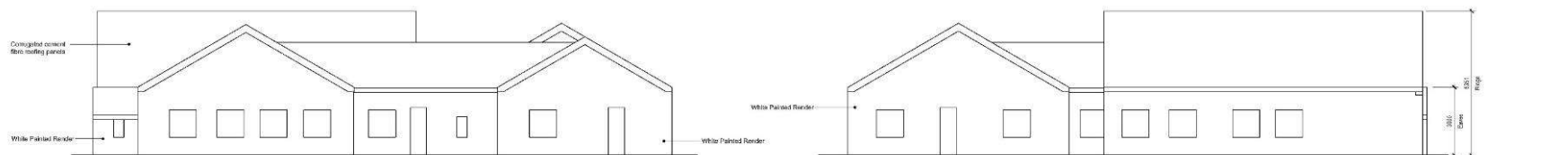
Title:
Planning_ExistingBuildings_Block_49_
Sheet1

LMA Project	Drawing number	Rev
1708	PHS/LMA/00/XX/DR/A/7050	P2

49-3 Block-49_Elevation
Scale: 1 : 100



49-4 Block-49_Elevation
Scale: 1 : 100



49-5 Block-49_Elevation
Scale: 1 : 100

49-6 Block-49_Elevation
Scale: 1 : 100

P2	Drawing issued for Planning	ST	MR	01.04.22
P1	Drawing issued to Client for comments	ST	MR	15.03.22
Rev	Revision description	Drawn	Checked	Date



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Tel +44 (0) 1244 404321

e-mail: admin@lowelockmitchell.com
web: www.lowelockmitchell.com

os Polish Village

53.7HN

Buildings_Block_49_

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0	XX	DR	A	7051	P2
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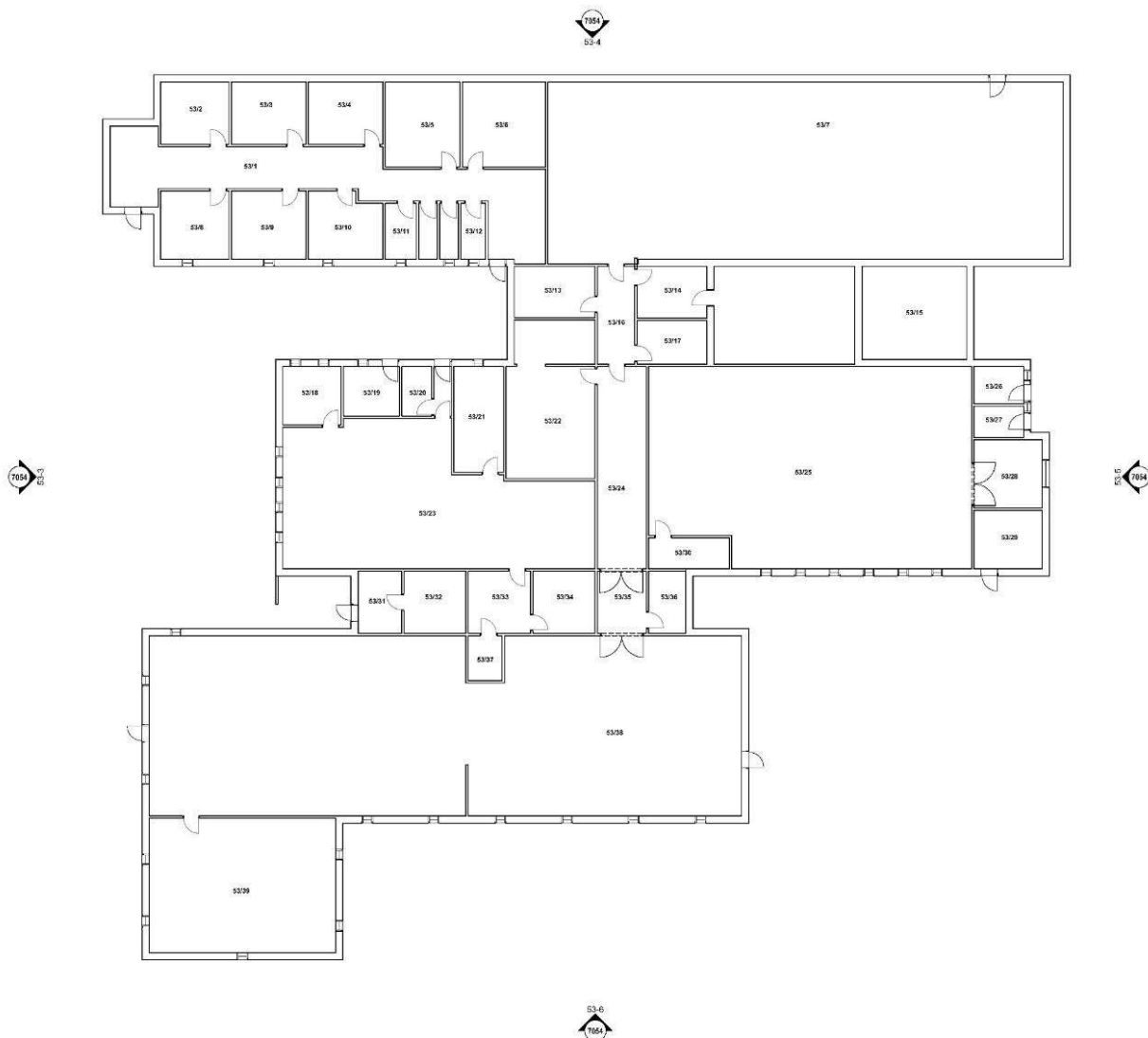
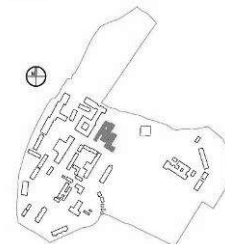
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Block-53_00-Ground
Scale: 1 : 100

P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/03/22

Rev: Name and Description Drawn Checked Date



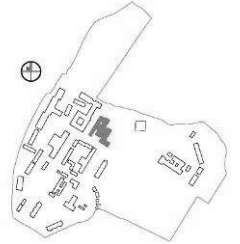
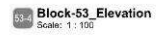
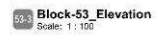
Llanelli Michael Architects
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web: www.llanellimichael.com

Project
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_53_
Sheet1

LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7052	P2



LMA Project	Drawing number							Rev.
	Type	System	Size	Code	Unit	Material	Weight (kg)	
1708	PHS	LMA	00	XX	DR	A	7054	P2

Cynllunio

Derbyn - 06/05/2022

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

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Notes

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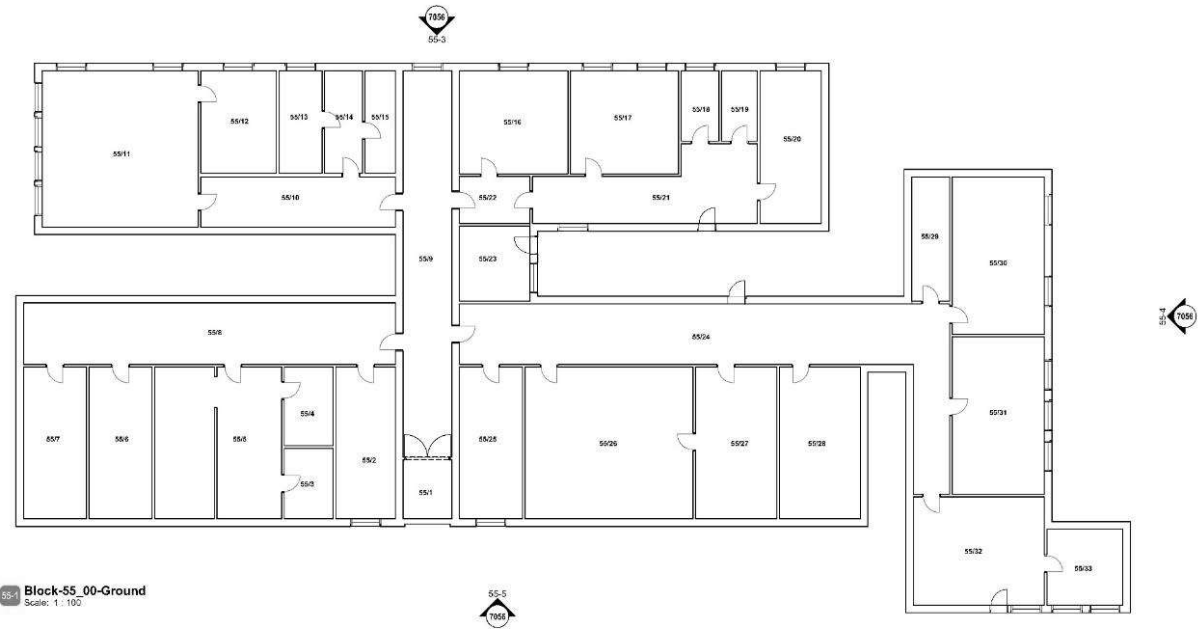
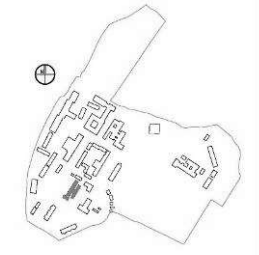
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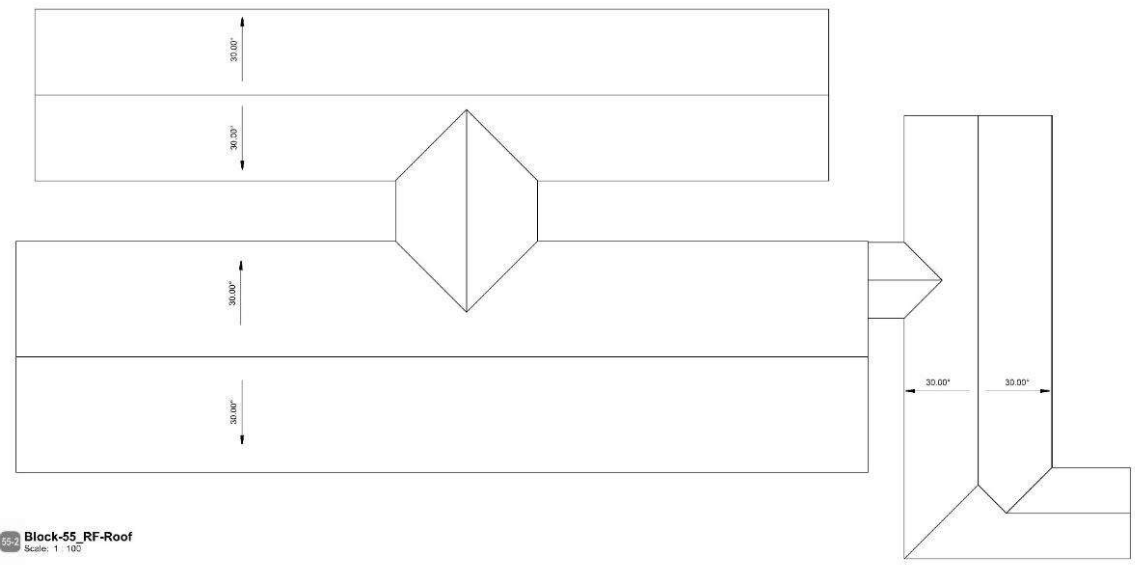
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55-1 Block-55_00-Ground
Scale: 1 : 100



55-2 Block-55_RF-Roof
Scale: 1 : 100

P2	Drawings issued for Planning	EF	MR	15/04/22
P1	Drawings issued to Client for comments	EF	MR	15/03/22
Rev	Revisions/Description	Drawn	Checked	Date

Llanwrthwl Architects
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Project:
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title:
Planning_ExistingBuildings_Block_55_
Sheet1

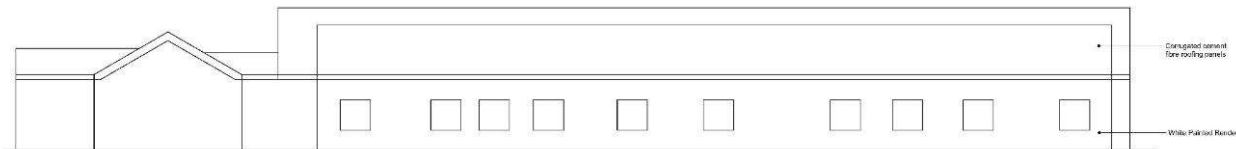
LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7055	P2

Notes

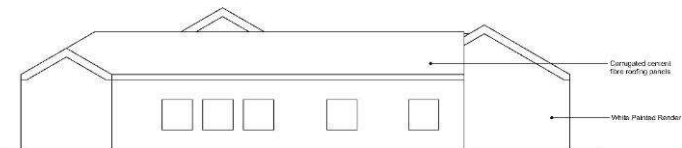
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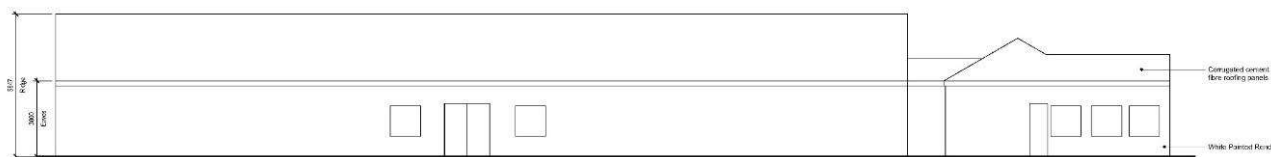
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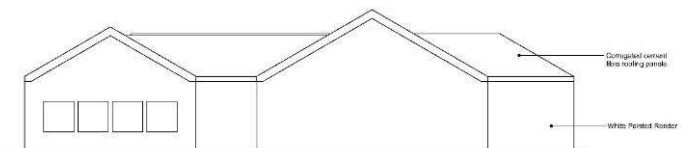
55-5 Block-55_Elevation
Scale: 1 : 100



55-6 Block-55_Elevation
Scale: 1 : 100



55-9 Block-55_Elevation
Scale: 1 : 100



55-8 Block-55_Elevation
Scale: 1 : 100

P2	Drawn by: David J. Fleming	EF	MR	15/04/22
P1	Drawn by: David J. Fleming	EF	MR	15/04/22
Rev	Rev	Rev	Rev	Rev

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Project
Clwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Planning_ExistingBuildings_Block_55_
Sheet2

LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7056	P2

Cynllunio

Derbyn - 06/05/2022

0m 15m 30m 45m 60m A1

VISUAL SCALE 1:750 @ A1

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Architects in accordance with the CDM Regulation 2015.

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Existing Buildings

Mark	Description	Usage	Footprint
6	Holiday Lets	Residential	317.3 m ²
6	Gargulio	Residential	159.6 m ²
41	Holiday Lets	Residential	246.6 m ²
42	Nurs Accommodation	Residential	296.6 m ²
43	Holiday Lets	Residential	164.6 m ²
44	Holiday Lets	Residential	129.4 m ²
45	Library, Hall, Stores, Holiday Lets	Commercial	123.0 m ²
46.2	Plant	Plant	52.0 m ²
46.3	Plant	Residential	52.0 m ²
61	Nursing Home	Residential	1,205.9 m ²
63	Dental Hall, Workshops, Composites	Residential	997.7 m ²
64	Workshops	Commercial	69.2 m ²
65	Offices	Offices	391.8 m ²
65.2	Offices	Offices	64.3 m ²
66	Club Station	Plant	16.2 m ²
67	Kitchen, Dining Room, Post Office, Retail Shop	Commercial	858.5 m ²
68	Store	Storage	81.0 m ²
68.1	Storage	Storage	60.4 m ²
68.2	Storage	Storage	31.7 m ²
68.3	Storage	Storage	10.4 m ²
68.4	Storage	Storage	11.7 m ²
68.5	Storage	Storage	21.1 m ²
68.6	Storage	Storage	21.4 m ²
68.7	Storage	Storage	4.2 m ²
68.8	Storage	Storage	41.6 m ²
69	Church	Commercial	267.0 m ²
70	Residence	Residential	233.9 m ²
80	Residence	Residential	233.9 m ²
81	Residence	Residential	153.1 m ²
82	Gargulio	Residential	193.3 m ²
83	Gargulio	Residential	234.7 m ²
84	Gargulio	Residential	453.2 m ²
85	Gargulio	Residential	177.3 m ²
86	Gargulio	Residential	163.2 m ²
87	Gargulio	Residential	184.6 m ²
88	Gargulio	Residential	146.3 m ²
89	Gargulio	Residential	204.2 m ²
90	Single Storey	Residential	369.4 m ²
91	2 Storey Accommodation	Residential	513.0 m ²
92	2 Storey Accommodation	Residential	218.1 m ²
93	Gargulio	Residential	163.6 m ²
94	Gargulio	Residential	147.8 m ²
Grand total			9,851.1 m ²

Allwedd Cynfodau Dymchwel

Legend Demolition Phases

Legenda Fazy Rozbiórki

Phase	Demolition
None	
Phase 1	
Phase 2	
Phase 3	
Phase boundary	

P3	Technical Drawing	ET	MR	11/04/22
P2	Technical Drawing	ET	MR	10/03/22
P1	Technical Drawing	ET	MR	01/11/21
P0	Technical Drawing	ET	MR	01/11/21

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 e-mail: admin@livestockmichael.com
 web: www.livestockmichael.com

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The Cynllunio Safe Cynfodau Dymchwel
Planning Site Plan Demolition Phases
Plan Zagospodarowania Terenu Fazy Rozbiórki

LMA Project	Drawing number	Rev
1708	PHS LMA 00 XX DR A 7126	P3

Cynllunio Cynllun Safe Cynfodau
Planning Site Plan Demolition Phases
Plan Zagospodarowania Terenu Fazy Rozbiórki
 Scale: 1:750

Cynllunio

Derbyn - 06/05/2022

0m 15m 30m 45m 60m A1

VISUAL SCALE 1:750 @ A1

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Allwedd Cyfnodau Adeiladu Legend_ConstructionPhases Legenda_FazyBudowy

Phase 1	
Phase 2	
Phase 3	
Planning boundary	

Schedule_ConstructionPhases_Houses

Type	Count
2BHP Bungalow	12
2BHP House	2
Phase 1	14
2BHP Bungalow	10
2BHP House	17
2BHP Bungalow, Accessible	1
2BHP House	11
Phase 2	6
2BHP House	6
2BHP House	4
Phase 3	11
Grand total	77

P3	Technical drawing for Planning	17	18	11/04/22
P2	Planning application for 1st comments	17	18	10/03/22
P1	Planning application for PAIC	17	18	01/11/21
Rev	Rev	Rev	Rev	Rev

LMA
Landscape Architecture
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Project
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Penrhos, Pwllheli LL53 7HN

The
Cynllunio Safe Cyfnodau Adeiladu
Planning SitePlan_ConstructionPhases
Plan_Zagospodarowania Terenu_FazyBudowy

LMA Project	Drawing number	Rev
1708	PHS/LMA/00/XX/DR/A/7125	P3

Caravan Site

30no. Apartments
(25 x 1Bed) + (5 x 2Bed)

Penrhos_DevelopmentSite
8.50 hectare
21.01 acres

1 Cynllunio_Cynllun Safe_Cyfnodau Adeiladu
Planning SitePlan_ConstructionPhases
Plan_Zagospodarowania Terenu_FazyBudowy
Scale: 1:750

03/05/2022 14:00:00 03/05/2022 14:00:00 03/05/2022 14:00:00

Cynllun Diwygiedig Amended Plan

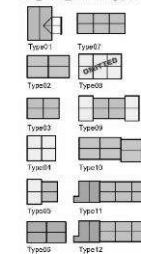
Cynllunio
Dedyn - 13/07/2023

0m 15m 30m 45m 60m A1

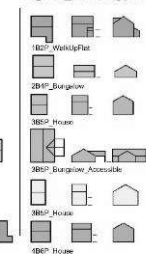
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Legend_BlockTypes



Legend_HouseTypes



Accommodation_Houses		
Reference	Description	Count
182P	WorkUpFlat	10
282P	Bungalow	22
284P	House	23
382P	Bungalow_Accessible	1
382P	House	15
482P	House	77
Grand total		187

Accommodation_Apartments		
Apartment Type	Apartment Area	Count
182P Apartment	54.8 m ²	25
282P Apartment	58.1 m ²	5
Grand total		30
Total Number of Residential Units		187

Site Areas		
Name	Count	Area
Penrhos_DevelopmentSite	1	85,074.9 m ²
Penrhos_Houses	22	17,082.8 m ²

Car Parking

Car Parking standards to comply with
CNS Wales Parking Standards 2014

Houses and Apartments (Zones 2-6)
• Residential - 1 space per bedspace
(includes requirement for 3 spaces)
• Visitors - 1 space per 5 units

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

Accommodation_Buildings
20 units overall (20 x 1 bed, 2 x 2 bed)
Residential
25 x 1 (1 bed) = 25
Visitor
20 x 2 (2 bed) = 40
Total
2.43

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
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Footpath - Private
Proposed circular pedestrian route

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

NOTE:
Please refer to the following consultant drawings for further information:
Landscape - Site & Site Landscape Architect
Planning - Planning Department
Site - Site

NOTE:
Please refer to the following consultant drawings for further information:
Landscape - Site & Site Landscape Architect
Planning - Planning Department
Site - Site

NOTE:
Please refer to the following consultant drawings for further information:
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Planning - Planning Department
Site - Site

NOTE:
Please refer to the following consultant drawings for further information:
Landscape - Site & Site Landscape Architect
Planning - Planning Department
Site - Site

Penrhos_ClywdAlynOwnership
0.23 hectare
0.56 acres

Cynllunio CynllunSafle_Arfaethedig
Planning_SitePlan_Proposed
Plan_Zagospodarowania_Terenu_Proponowany
Scale: 1:750

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

Legend_Site
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Parking
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Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

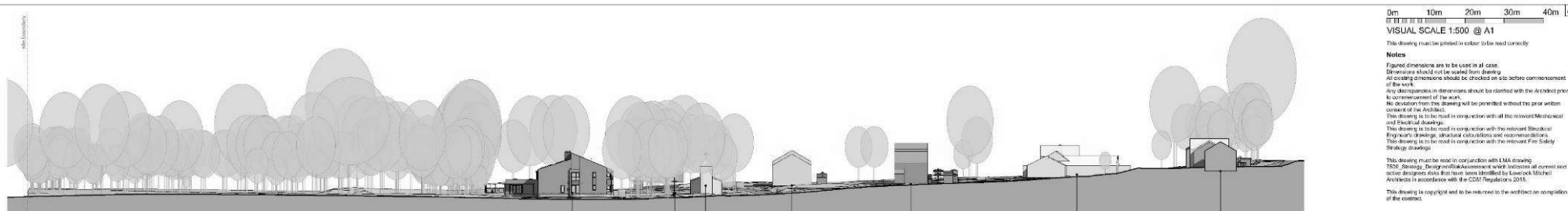
Legend_Site
Site
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Road - 'Interchange'
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Footpath - Private
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Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

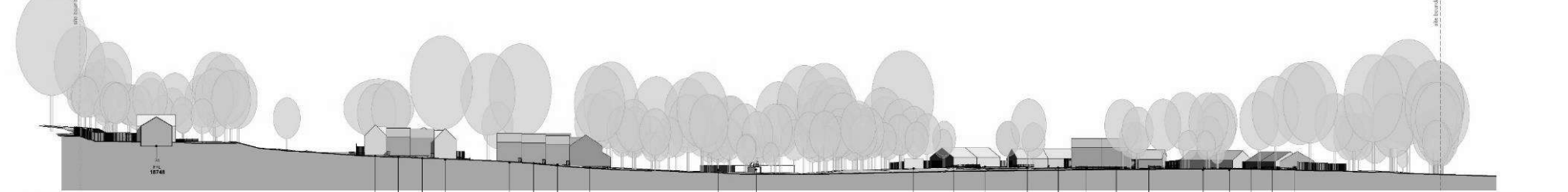
Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route

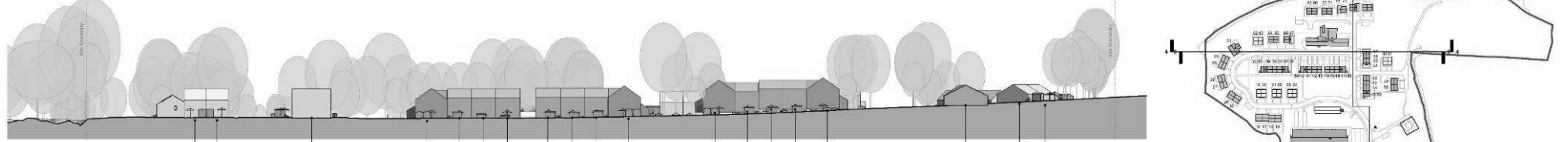
Legend_Site
Site
Road
Parking
Road - 'Interchange'
Footpath - Public
Footpath - Private
Proposed circular pedestrian route



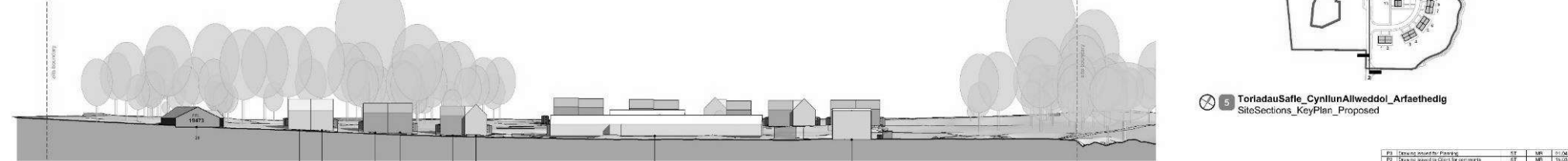
1 SafeCroestoriad01_Arfaethedig
Site Section01_Proposed
Przekrój Terenu01_Proponowany
Scale: 1 : 500



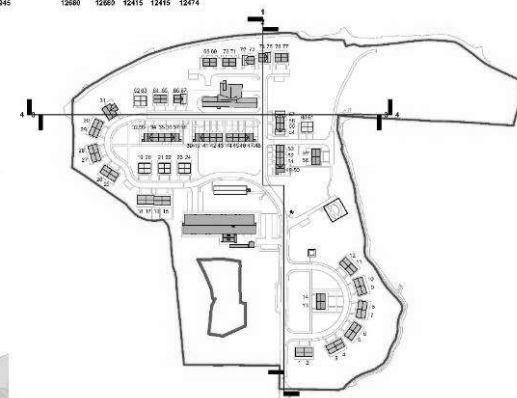
2 SafeCroestoriad02_Arfaethedig
Site Section02_Proposed
Przekrój Terenu02_Proponowany
Scale: 1 : 500



3 SafeCroestoriad03_Arfaethedig
Site Section03_Proposed
Przekrój Terenu03_Proponowany
Scale: 1 : 500

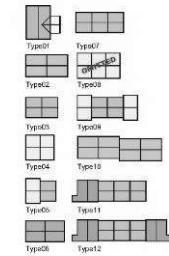


4 SafeCroestoriad04_Arfaethedig
Site Section04_Proposed
Przekrój Terenu04_Proponowany
Scale: 1 : 500

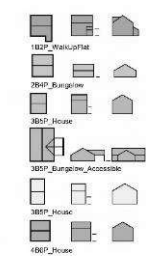


5 ToriadauSafle_CynllunAllweddol_Arfaethedig
SiteSections_KeyPlan_Proposed

Legend_BlockTypes



Legend_HouseTypes



P3	Technical drawing for Planning	ET	MR	01/06/22
P2	Technical drawing for Planning	ET	MR	01/06/22
P1	Technical drawing for Planning	ET	MR	01/06/22
P0	Technical drawing for Planning	ET	MR	01/06/22

Rev: 1/1
Name: 1/1
Date: 01/06/22

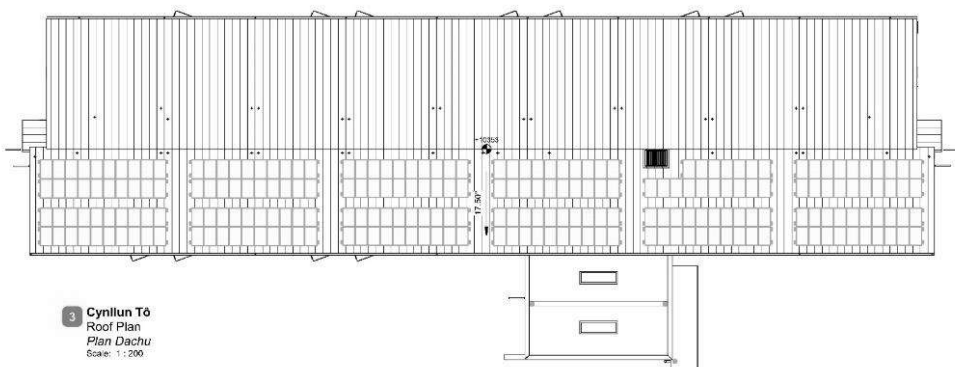
LM
Llewellyn Michael Architects
5 St. David's Street, Carmarthen, SA31 2LH
Tel: +44 (0) 1294 454521
Email: admin@llewellynmichael.com
Web: www.llewellynmichael.com

Project
ClywdAllyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Cynllunio_ToriadauSafle_Arfaethedig
Planning_SiteSections_Proposed
Przekrój Terenu_Proponowany

LMA Project	Drawing number	Scale	Sheet	Rev
1708	PHS/LMA_00_XX/DR_A	1:500	7120	P3





3 Cynllun Tô
Roof Plan
Plan Dachu
Scale: 1:200



2 Llawr Cyntaf
First Floor
Pierwsze Piętro
Scale: 1:200



1 Llawr Gwaelod
Ground Floor
Parter
Scale: 1:200

Legend_RoomType

102°	102°
263°	263°
Anticler	Anticler
Circulation	Circulation
Services	Services

Room Schedule

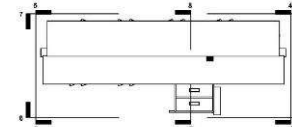
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Anticler	4	32.0 m ²
Apartment	190	986.4 m ²
Circulation	12	236.1 m ²
Services	7	111.1 m ²
On Ground	121	1,281.4 m ²
Anticler	2	24.0 m ²
Apartment	115	577.8 m ²
Circulation	5	241.0 m ²
Services	2	7.0 m ²
On First	125	1,281.8 m ²
Grand total	246	2,563.1 m ²

Area Schedule (GIA)

Level	Name	Area
On ground	Apartment_03	1,315.9 m ²
On First	Apartment_01	1,232.0 m ²
Grand total		2,547.9 m ²

Residential Units

Apartment type	Apartment	Count
1-Bed Apartment	51.0 m ²	20
2-Bed Apartment	48.1 m ²	5
Grand total		30



Adelaid Fflatiau
ApartmentBlock
Blok Mieszkalny

0m 4m 8m 12m 16m A1

VISUAL SCALE 1:200 @ A1

Notes
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This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Risk Assessment which contains all current and active design details that have been identified by Lendock Mitchell Architects in accordance with the CDM Regulation 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



4 Drychiad01_Blaen
Elevation01_Front
Elewacja01_Przód
Scale: 1:200



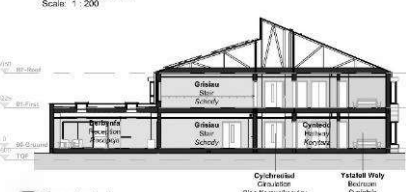
5 Drychiad02_Cefn
Elevation02_Rear
Elewacja02_Tył
Scale: 1:200



6 Drychiad03_Ochr
Elevation03_Side
Elewacja03_Bok
Scale: 1:200



7 Drychiad04_Ochr
Elevation04_Side
Elewacja04_Bok
Scale: 1:200



8 Croestoriad Section
Przekrój
Scale: 1:200

Cynllunio
Derby - 06/05/2022

KEY TO MATERIALS

- Roof**
- Standing Seam roof - well cladding system
 - UPVC Fascia/Battens - Colour GRAY
 - Timber Rafters - Colour to be agreed
 - UPVC half round mould/battens - Colour BLACK

- Walls**
- Roughcast Render - Colour to be agreed
 - Corrugated Sheet/Pipe - Colour to be agreed
 - Timber Siding - Colour to be agreed
 - Corrugated Sheet/Pipe - Colour to be agreed
 - Black stone

- Windows and Doors**
- Triple glazed Aluminium clad composite windows and doors - Colour to be agreed

Solar PV
Orientation of PV panels varies across facade type and location. Size and orientation to specialist design and specification

P3	Review issued for Planning	17	MR	01/04/22
P2	Review issued to client for comments	16	MR	30/03/22
P1	Review issued for PAC	15	MR	01/11/21

Rev: 16/05/2022

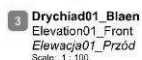
Lendock Mitchell Architects
5 Stanley Street, Chelmsley, CH1 2LS
Tel: +44 (0) 1244 494321

e-mail: admin@lendamitchell.com
web: www.lendamitchell.com

Project
Chwyd Alyn - Penrhos Polish Village
Penrhos, Pwllheli LL53 7HN

Title
Trefniant Cyffredinol - Adelaid Fflatiau
Planning, GA Apartments, Overview
Ukud ogólny - Blok mieszkalny

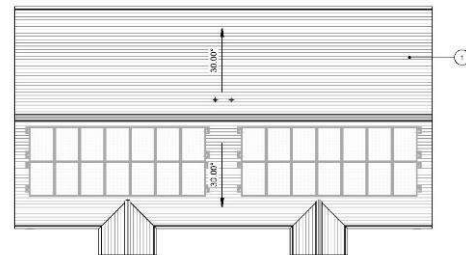
LMA Project	Drawing number	Rev
1708	PHS/LMA/20/XX/DR/A/7135	P3



- External walls: $0.18 \text{ W/m}^2 \text{ K}$
- Roof: $0.11 \text{ W/m}^2 \text{ K}$
- Floor: $0.13 \text{ W/m}^2 \text{ K}$
- Windows: $1.4 \text{ W/m}^2 \text{ K}$
- External doors: $1.4 \text{ W/m}^2 \text{ K}$
- Curtain walls: $1.4 \text{ W/m}^2 \text{ K}$

Ecology - Bird / Bat roosts
Development to include both tree- and building-mounted bird and bat roosts. Exact number, location, and type of bat and bird roosts to be agreed with planning department.

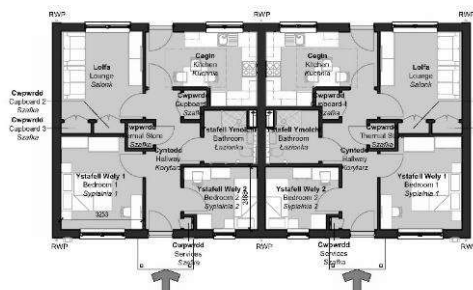
LMA Project	Drawing number							Rev.
1708	PHS	LMA	01	XX	DR	A	7140	P3



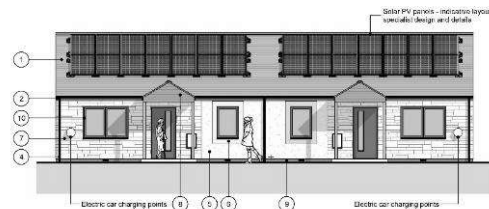
2 Cynllun Tŷ
Roof Plan
Plan Dachy
Scale: 1:100

House Type

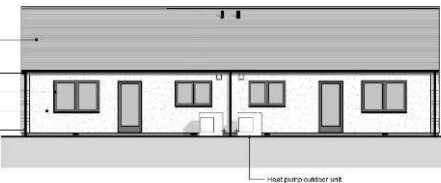
2BSP_Bungalow



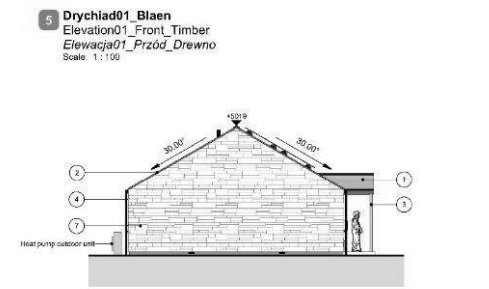
1 Llwr Gwaelod
Ground Floor
Parter
Scale: 1:100



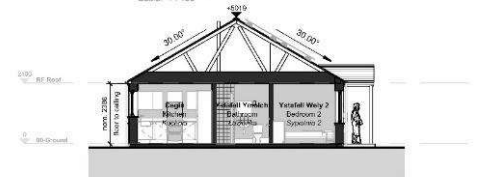
3 Drychiad01_Blaen
Elevation01_Front
Elewacja01_Przód
Scale: 1:100



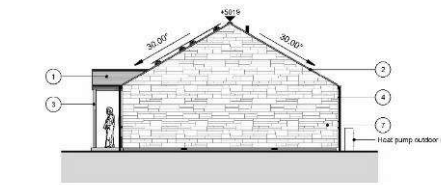
4 Drychiad02_Cefn
Elevation02_Rear
Elewacja02_Tyl
Scale: 1:100



6 Drychiad03_Ochr
Elevation03_Side
Elewacja03_Bok
Scale: 1:100



8 Croestoriad01
Section01
Przekrój01
Scale: 1:100



7 Drychiad04_Ochr
Elevation04_Side
Elewacja04_Bok
Scale: 1:100

KEY TO MATERIALS

- Roof**
- Natural Slate
 - UPVC Fascia Boards - Colour GRAY
 - Timber Pests - Colour to be agreed
 - UPVC half round round downspout - Colour BLACK
- Walls**
- Smoothed Render - Colour to be agreed
 - Central Gable Render - Colour to be agreed
 - Central Gable - Colour to be agreed
 - Central Gable - Colour to be agreed
 - Brickwork
- Windows and Doors**
- Triple glazed Aluminium clad composite windows and doors - Colour to be agreed
- Solar PV**
- Orientation of PV panels varies across house type and location. Design and orientation to specialist design and specification.
- Ecology - Bird / Bat needs**
- Designers to include bird and bat needs and building measures to be agreed with planning department.

Minimum thermal requirements to achieve:

- External walls: 0.16W/m²K
- Roof: 0.10W/m²K
- Floor: 0.10W/m²K
- Windows: 1.40W/m²K
- External doors: 1.40W/m²K
- Garage walls: 1.40W/m²K

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

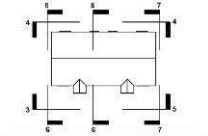
This drawing must be printed in colour to be read correctly

Notes

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This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Assessment and all relevant current and future designations and have been identified (Lundbeck Mitchell Architects) in accordance with the CDM Regulations 2015.

This drawing is copyright and is to be returned to the architect on completion of the contract.



2BSP_Bungalow_Rooms	
Name	Area
Bathroom	4.13 m ²
Bedroom 1	11.63 m ²
Bedroom 2	6.69 m ²
Garage 1	3.82 m ²
Garage 2	3.53 m ²
Hallway	3.52 m ²
Kitchen	11.66 m ²
Living	17.44 m ²
Porcelain	3.19 m ²
Thermal Store	1.03 m ²
2BSP_Bungalow	67.51 m ²



BlockType02_GIA		
Name	Level	Area
2BSP_Bungalow	00-Ground	61.2 m ²
Unit01	000-Bungalow	61.2 m ²
Unit02	000-Ground	61.2 m ²

P3	Technical Drawing	IT	MR	01/04/22
P2	Design Development	IT	MR	10/03/22
P1	Design Development	IT	MR	01/11/21

Rev: 01/04/22

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5 Stanley Street, Chester, CH1 2LS
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web: www.lundbeckmitchell.com

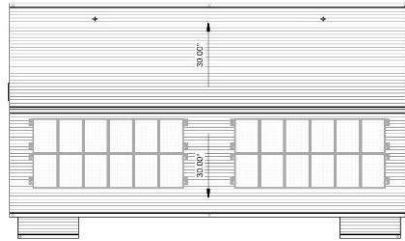
Project
Cwllatyn - Penrhos Polish Village
Penrhos, Pwllheli, LL53 7HN

Title
Cynllunio_TrefniantCyffredinol_MATH 02
Planning_GA_Type 02
Planowanie_Uklad Ogólny - TYP Bloku 02

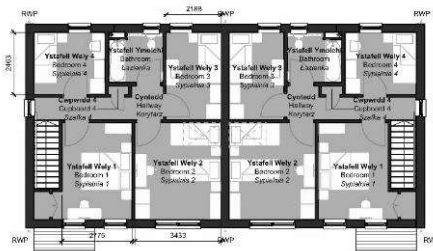
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1708	PHS_LMA_02_XX_DR_A	7145_P3

Cynllunio

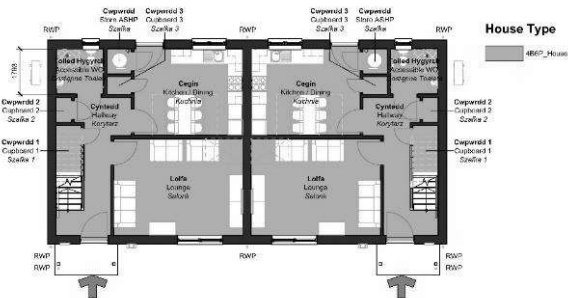
Derbyn - 06/05/2022



3 Cynllun Tŷ
Roof Plan
Plan Dachy
Scale: 1:100



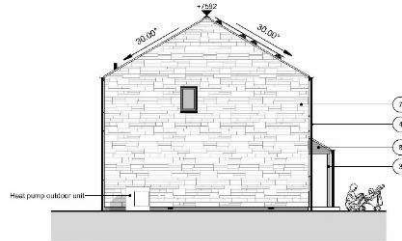
2 Llwr Cynlaf
First Floor
Pierwsze Piętro
Scale: 1:100



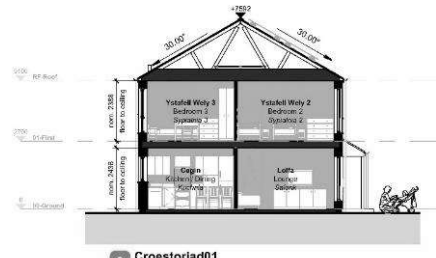
1 Llwr Gwaelod
Ground Floor
Parter
Scale: 1:100



4 Drychiad01_Blaen
Elevation01_Front
Elewacja01_Przód
Scale: 1:100



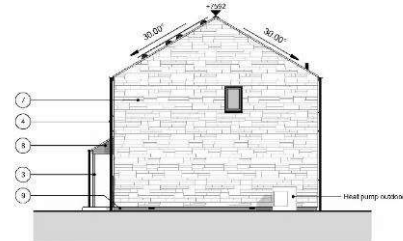
6 Drychiad03_Ochr
Elevation03_Side
Elewacja03_Bok
Scale: 1:100



8 Croestoriad01
Section01
Przekrój01
Scale: 1:100



5 Drychiad02_Cefn
Elevation02_Rear
Elewacja02_Tyl
Scale: 1:100



7 Drychiad04_Ochr
Elevation04_Side
Elewacja04_Bok
Scale: 1:100

Minimum thermal requirements to achieve:

- External walls: 0.160 W/m²K
- Roof: 0.100 W/m²K
- Floor: 0.100 W/m²K
- Windows: 1.400 W/m²K
- External doors: 1.400 W/m²K
- Garage walls: 1.400 W/m²K

KEY TO MATERIALS

- Roof**
- Natural Slate
 - UPVC Fascia/Battens - Colour GRAY
 - Timber Pests - Colour to be agreed
 - UPVC half round round downspout - Colour BLACK
- Walls**
- Smoothed Render - Colour to be agreed
 - Central Smooth Render - Colour to be agreed
 - Natural Stone - Colour to be agreed
 - Central 'Clack' cladding - Colour to be agreed
 - Brick slips
- Windows and Doors**
- Triple glazed - Aluminium clad composite windows and doors - Colour to be agreed

Solar PV

Orientation of PV panels varies across house type and location.

Ecology - Bird / Bat needs

Developers to include both line and building mounted bird and bat roosts. Exact number, location, and type of bat and bird roosts to be agreed with planning department.

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

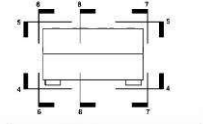
This drawing must be printed in colour to be read correctly

Notes

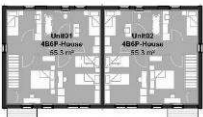
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4BHP House Rooms		
Name	Level	Area
Un001	Accessable WC	3.34 m ²
Bathroom		4.02 m ²
Bedroom 1		11.95 m ²
Bedroom 2		13.21 m ²
Bedroom 3		7.60 m ²
Bedroom 4		6.51 m ²
Outward 1		1.59 m ²
Outward 2		3.62 m ²
Outward 3		3.69 m ²
Outward 4		3.78 m ²
Hallway		2.84 m ²
Kitchen		8.89 m ²
Living / Dining		18.14 m ²
Loose		19.75 m ²
Store A/B/C		3.95 m ²
Un001 Tot		102.66 m ²



BlockType06_GIA		
Name	Level	Area
BHP-House	00-Skinned	55.9 m ²
BHP-House	01-Final	55.9 m ²
Un001		116.5 m ²
BHP-House	00-Ground	55.9 m ²
BHP-House	01-Final	55.9 m ²
Un002		116.5 m ²

P3	Technical Drawing	IT	MR	01/04/22
P2	Design Development	IT	MR	01/04/22
P1	Design Development	IT	MR	01/04/22
P0	Design Development	IT	MR	01/04/22

Rev: Name or description Date

LMA
5 Stoney Street, Chertsey, Surrey, UK
Tel: +44 (0) 1889 454521

email: admin@lmaarchitects.co.uk
web: www.lmaarchitects.co.uk

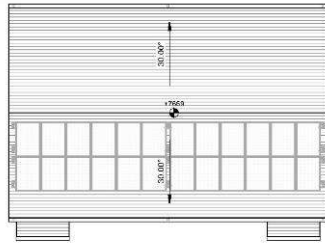
Project
Cynllunio - Penrhos Polish Village
Penrhos, Pwllheli, LL53 7HN

Title
Cynllunio_TrefniantCyffredinol_MATH 06
Planning_GA_Type 06
Planowanie_Uklad Ogólny - TYP Bloku 06

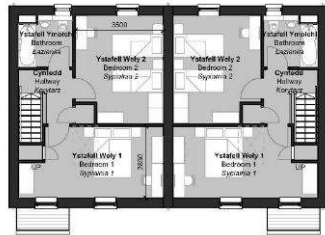
LMA Project	Drawing number	Rev.
1708	PHS/LMA 06 XX/DR A 7165	P3

Cynllunio

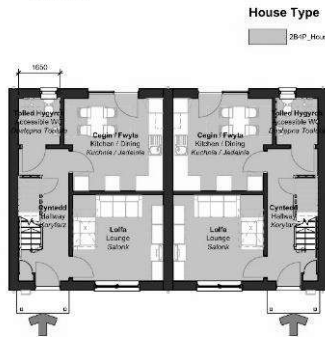
Derbyn - 06/05/2022



3 Cynllun T6
Roof Plan
Plan Dachu
Scale: 1 : 100



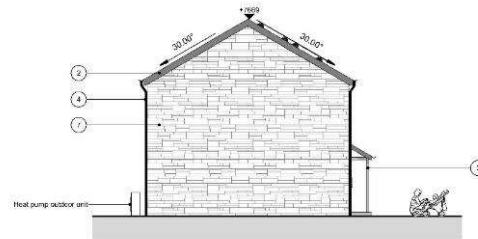
2 Llwr Cyntaf
First Floor
Pierwsze Piętro
Scale: 1 : 100



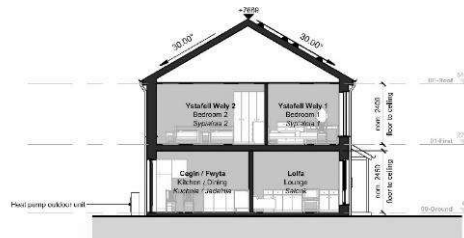
1 Llwr Gwaelod
Ground Floor
Parter
Scale: 1 : 100



4 Drychiad01_Blaen
Elevation01_Front
Elewacja01_Przód
Scale: 1 : 100



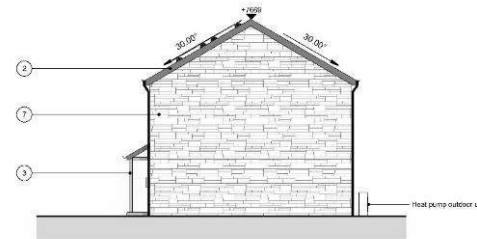
6 Drychiad03_Ochr
Elevation03_Side
Elewacja03_Bok
Scale: 1 : 100



8 Croestoriad01
Section01
Przekrój01
Scale: 1 : 100



5 Drychiad02_Cefn
Elevation02_Rear
Elewacja02_Tyl
Scale: 1 : 100



7 Drychiad04_Ochr
Elevation04_Side
Elewacja04_Bok
Scale: 1 : 100

KEY TO MATERIALS

- Roof**
- Natural Slate
 - UPVC Fascia Boards - Colour GRAY
 - Timber Pests - Colour to be agreed
 - UPVC half round round rainwater goods - Colour BLACK
- Walls**
- Smoothed Render - Colour to be agreed
 - Central Smooth Render - Colour to be agreed
 - Natural Stone - Colour to be agreed
 - Central 'Cluck' cladding - Colour to be agreed
 - Brick slips
- Windows and Doors**
- Triple glazed Aluminium clad composite windows and doors - Colour to be agreed

Roof PV
Orientation of PV panels varies across house type and location.

Ecology - Bird / Bat needs
Developers to include both tree and building mounted bird and bat roosts. Exact number, location, and type of bat and bird roosts to be agreed with planning department.

Minimum thermal requirements to achieve:

- External walls: 0.160 W/m² K
- Roof: 0.100 W/m² K
- Floor: 0.100 W/m² K
- Windows: 1.40 W/m² K
- External doors: 1.40 W/m² K
- Garage walls: 1.40 W/m² K

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

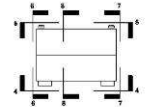
This drawing must be printed in colour to be read correctly

Notes

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This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Assessment which contains all current and active design rules that have been identified (Lundbeck Mitchell Architects in accordance with the CDM Regulation 2015).

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2B4P_House_Rooms		
Name	Area	
Unit01		
Accessible WC	3.65 m ²	
Apex	0.55 m ²	
Bathroom	4.15 m ²	
Bedroom 1	14.47 m ²	
Bedroom 2	14.33 m ²	
Cl wardrobe	1.49 m ²	
Cl wardrobe	3.97 m ²	
Cl wardrobe	5.12 m ²	
Hallway	2.84 m ²	
Hallway	5.54 m ²	
Kitchen / Dining	13.88 m ²	
Lounge	12.55 m ²	
Unit01 Tot	79.06 m ²	



BlockType03_GIA		
Name	Level	Area
2B4P_House	[00-Ground]	11.2 m ²
2B4P_House	[01-First]	41.2 m ²
Unit01		6.3 m ²
2B4P_House	[00-Ground]	41.2 m ²
2B4P_House	[01-First]	41.2 m ²
Unit02		6.3 m ²

P3	Revised for Planning	17	MR	11/04/22
P2	Revised for Planning	17	MR	10/03/22
P1	Revised for Planning	17	MR	01/11/21

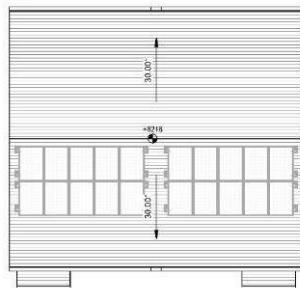
Rev: Name or description Drawn: Checked: Date:

Lundbeck Mitchell Architects
5 Stanley Street, Carmarthen, Carmarthen, SA31 2LS
Tel: +44 (0) 1264 494321
e-mail: admin@lundbeckmitchell.com
web: www.lundbeckmitchell.com

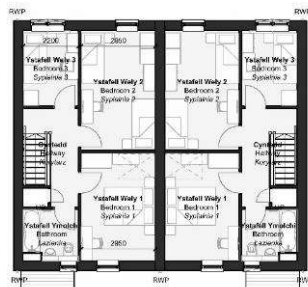
Project:
Cilwd Alyn - Penrhos Polish Village
Penrhos, Pwllheli, LL53 7HN

Title:
Trefniant Cyffredinol - MATH 03
Planning, GA, TYPE 03
Ukhd Ogŷny - TYP Bloku 03

LMA Project	Drawing number	Rev
1708	PHS/LMA/03/XX/DR/A/7150	P3

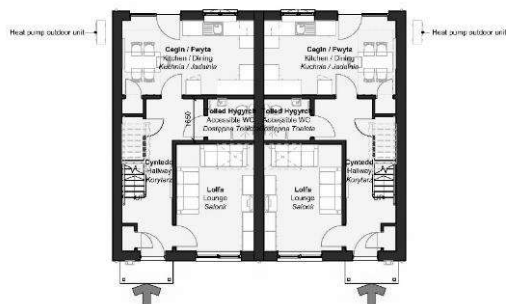


3 Cynllun T6
Roof Plan
Plan Dach
Scale: 1:100

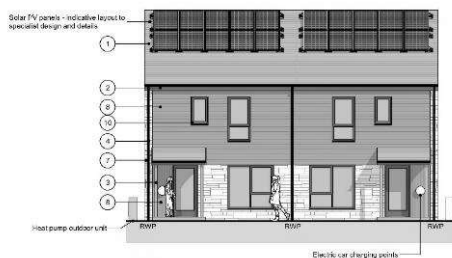


2 Llawr Cyntaf
First Floor
Pierwsze Piętro
Scale: 1:100

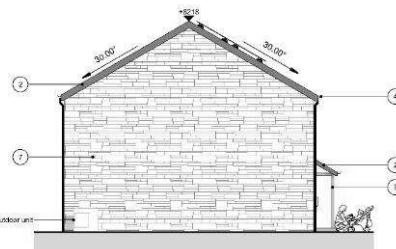
House Type
3BSP_House



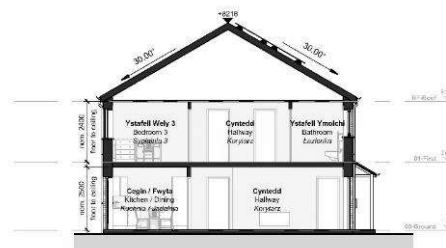
1 Llawr Gwaelod
Ground Floor
Parter
Scale: 1:100



4 Drychiad01_Blaen
Elevation01_Front
Elewacja01_Przód
Scale: 1:100



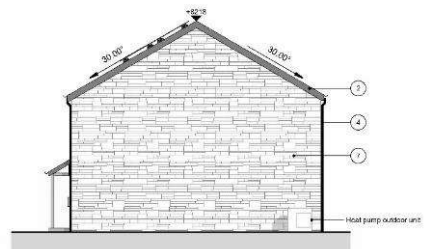
6 Drychiad03_Ochr
Elevation03_Side
Elewacja03_Bok
Scale: 1:100



8 Croestoriad01
Section01
Przekrój01
Scale: 1:100



5 Drychiad02_Cefn
Elevation02_Rear
Elewacja02_Tyl
Scale: 1:100



7 Drychiad04_Ochr
Elevation04_Side
Elewacja04_Bok
Scale: 1:100

KEY TO MATERIALS

- Roof**
1. Natural Slate
 2. UPVC Fascia Boards - Colour GRAY
 3. Timber Posts - Colour to be agreed
 4. UPVC half round round corner guards - Colour BLACK
- Walls**
5. Roughcast Render - Colour to be agreed
 6. Central Smooth Render - Colour to be agreed
 7. Natural Stone - Colour to be agreed
 8. Central 'Cluck' cladding - Colour to be agreed
 9. Brick slips
- Windows and Doors**
10. Timber framed Aluminium clad composite windows and doors - Colour to be agreed

Solar PV

Orientation of PV panels varies across house type and location.

Developers to include both law, and building insurance and and roof.

Size and orientation to specialist design and specification.

Ecology - Bird / Bat needs

Developers to include both law, and building insurance and and roof.

Size and orientation to specialist design and specification.

Minimum thermal requirements to achieve:

- External walls: 0.160W/m²K
- Roof: 0.100W/m²K
- Floor: 0.100W/m²K
- Windows: 1.40W/m²K
- External doors: 1.40W/m²K
- Glazed walls: 1.40W/m²K

0m 2m 4m 6m 8m A1

VISUAL SCALE 1:100 @ A1

This drawing must be printed in colour to be used correctly

Notes

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Any discrepancies in dimensions should be clarified with the Architect prior to commencement of the work.

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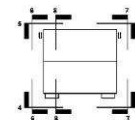
This drawing is to be read in conjunction with all the relevant Mechanical and Electrical Drawings.

This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.

This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Risk Assessment which contains all current and active design rules that have been identified by Llandek Mitchell Architects in accordance with the CDM Regulation 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



3BSP_House_Rooms		
Name	Level	Area
Unit01		
Accessible WC		3.65 m ²
Entry		2.75 m ²
Bathroom		4.25 m ²
Bedroom 1		12.85 m ²
Bedroom 2		14.01 m ²
Bedroom 3		8.60 m ²
Chubroom		3.91 m ²
Chubroom		1.49 m ²
Chubroom		3.91 m ²
Hallway		7.85 m ²
Hallway		10.95 m ²
Kitchen / Dining		15.45 m ²
Storage		13.18 m ²
Unit01 Tot		91.14 m ²



BlockType04_GIA		
Name	Level	Area
3BSP_House	01-First	48.0 m ²
3BSP_House	00-Garage	48.0 m ²
Unit01		56.0 m ²
3BSP_House	01-First	48.0 m ²
3BSP_House	00-Garage	48.0 m ²
Unit02		56.0 m ²

P3	Technical drawing	IT	MR	01/04/22
P2	Design review	IT	MR	01/04/22
P1	Design review	IT	MR	01/04/22

Rev: 01/04/22

Drawn: 01/04/22

Check: 01/04/22

Issue: 01/04/22

Author: 01/04/22

Checker: 01/04/22

Reviewer: 01/04/22

Approved: 01/04/22

Project: 01/04/22

Client: 01/04/22

Location: 01/04/22

Address: 01/04/22

Plot: 01/04/22

Site: 01/04/22

Phase: 01/04/22

Version: 01/04/22

Revision: 01/04/22

Drawn: 01/04/22

Check: 01/04/22

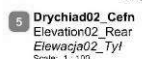
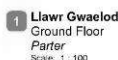
Issue: 01/04/22

Approved: 01/04/22

Project: 01/04/22

Derbyn - 06/05/2022

Derbyn - 06/05/2022



- External walls: $0.18 \text{ W/m}^2 \text{ K}$
- Roof: $0.1 \text{ W/m}^2 \text{ K}$
- Floor: $0.13 \text{ W/m}^2 \text{ K}$
- Windows: $1.4 \text{ W/m}^2 \text{ K}$
- External doors: $1.4 \text{ W/m}^2 \text{ K}$
- Curtain walls: $1.4 \text{ W/m}^2 \text{ K}$

Roof

1. Natural Slate
2. UPVC Fascia Boards - Colour GREY
3. Timber Posts - Colour to be agreed
4. UPVC half round / round rainwater

Walls

- 6. Roughcast Render - Colour to be agreed
- 6. Cornices Smooth Render feature to window surrounds
Colour to be agreed
- 7. Natural Stone - Colour to be agreed
- 8. Cedar 'Cluck' cladding - Colour to be agreed
- 9. Brick slips

Solar PV
Orientation of PV panels varies across house type and location.

Ecology - Bird / Bat roosts
Development to include both tree, and building mounted bird and bat roosts. Exact number, location, and type of bat and bird roosts to be worked with planning department.

VISUAL SCALE 1:100 @ A1

This drawing must be printed in colour to be used correctly

Notes

Figured dimensions are to be used in all cases.
Dimensions should not be scaled from drawing.
All existing dimensions should be checked on site before commencement.

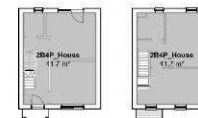
Any discrepancies in dimensions should be clarified with the Architect prior to the start of the work.
No deviation from the drawing will be permitted without the prior written consent of the Architect.
This drawing is to be read in conjunction with all the relevant Mechanical and Electrical drawings.
This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and recommendations.
This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7520, Strategy, Design and Risk Assessment which identifies all current and active designers risks that have been identified by Lovelock Mitchell Architects in accordance with the CDM Regulations 2015.

This drawing is copyright and to be returned to the architect on completion of the contract.



Name	Area
Unit 01	
AGGASABA WEG	3.1 m ²
Cupboard	1.5 m ²
Cupboard	0.2 m ²
Table	0.5 m ²
Kitchen / Dining	13.9 m ²
Lounge	12.9 m ²
00-Ground: G	36.3 m ²
Living	0.8 m ²
Bathroom	4.1 m ²
Bedroom 1	14.9 m ²
Bedroom 2	14.5 m ²
Cupboard	0.8 m ²
Hallway	5.3 m ²
01-First: 6	36.8 m ²
Grand total: 12	25.1 m ²



G.A. 2B4P_House		
Name	Level	Area
2B4P_House	00-Ground	41.7 m ²
2B4P_House	01-First	41.7 m ²
Unit1		83.4 m ²
2B4P_House	00-Ground	41.7 m ²
2B4P_House	01-First	41.7 m ²
Unit2		83.4 m ²
2B4P_House	00-Ground	41.7 m ²
2B4P_House	01-First	41.7 m ²
Unit3		83.4 m ²
Grand total		250.1 m ²

P3	Drawing issued for Permitting	ST	MR	01.04.22
P2	Drawing issued to Client for comments	ST	MR	19.03.22
P1	Drawing issued for PAC	ST	MR	01.11.21
Rev	Revision description	Drawn	Checked	Date

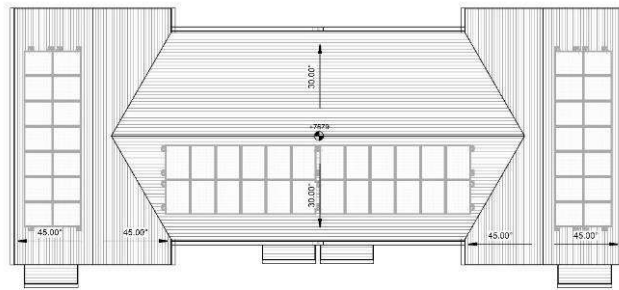


e-mail: admin@lowecolmitchell.com

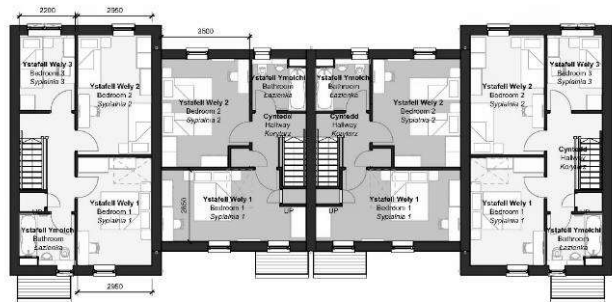
Project
Clwd Alyn - Penrhos Polish Village
Penrhos, Pwllheli, LL53 7HN

Tytuł
Trefniant Cyffredinol - MATH 07
Planning_GA_TYPE 07
Układ Ogólny - TYP Bloku 07

LMA Project	Drawing number							Rev.
	Project	Region	City	Coord	Right	Class	Drawing no.	
1708	PHS	LMA	07	XX	DR	A	7170	P3

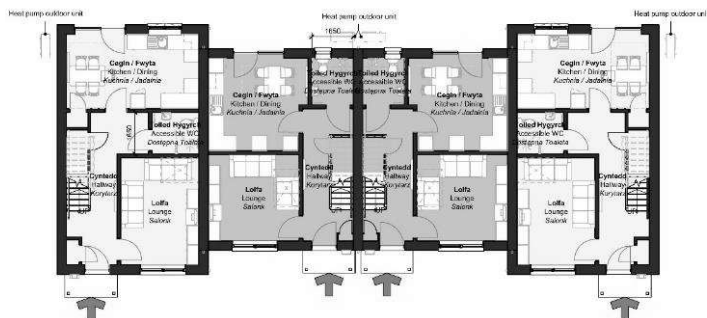


3 Cynllun T6
Roof Plan
Plan Dach
Scale: 1:100



2 Llawr Cyntaf
First Floor
Pierwsze Piętro
Scale: 1:100

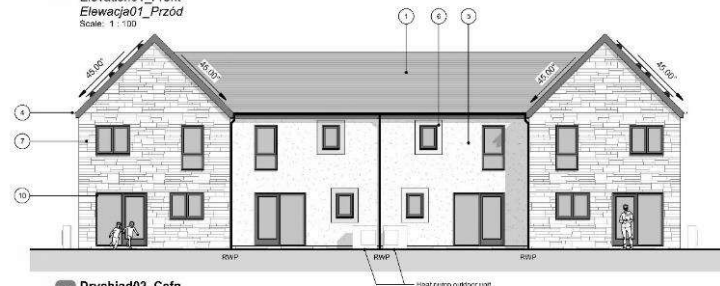
House Type
2B4P_House
3B5P_House



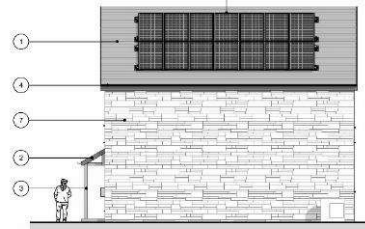
1 Llawr Gwaelod
Ground Floor
Parter
Scale: 1:100



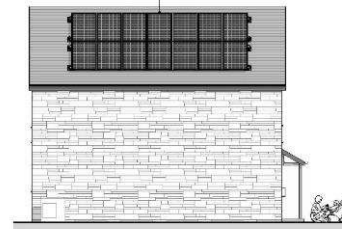
4 Drychiad01_Blaen
Elevation01_Front
Elevation01_Front
Scale: 1:100



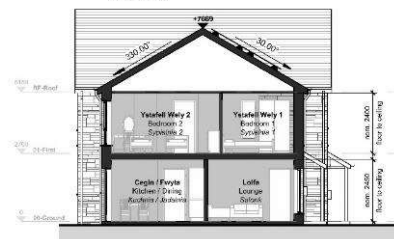
5 Drychiad02_Cefn
Elevation02_Rear
Elevation02_Rear
Scale: 1:100



6 Drychiad03_Ochr
Elevation03_Side
Elevation03_Side
Scale: 1:100



7 Drychiad04_Ochr
Elevation04_Side
Elevation04_Side
Scale: 1:100



8 Croestoriad01
Section01
Przekrój01
Scale: 1:100



9 Croestoriad02
Section02
Przekrój02
Scale: 1:100

Minimum thermal requirements to achieve:

- External walls: 0.160 W/m²K
- Roof: 0.100 W/m²K
- Floor: 0.100 W/m²K
- Windows: 1.400 W/m²K
- External doors: 1.400 W/m²K
- Garage walls: 1.400 W/m²K

Roof

- Natural Slate
- UPVC Fascia/Battens - Colour GRAY
- Timber Pests - Colour to be agreed
- UPVC half round round downspout - Colour BLACK

Walls

- Smoothed Render - Colour to be agreed
- Central Smooth Render - Colour to be agreed
- Natural Stone - Colour to be agreed
- Central 'Cluck' cladding - Colour to be agreed
- Brick slip

Windows and Doors

- Triple glazed - Aluminium clad composite windows and doors - Colour to be agreed

Solar PV

Orientation of PV panels varies across house type and location.

Size and orientation to specialist design and specification.

Ecology - Bird / Bat needs

Development to include both tree and building measures to support bird and bat needs. Exact number, location, and type of bat and bird needs to be agreed with planning department.

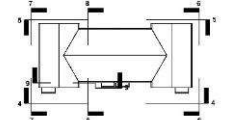
Cynllunio
Dorlryn - 06/05/2022

0m 2m 4m 6m 8m A1
VISUAL SCALE 1:100 @ A1

Notes
Figured dimensions are to be used in all cases.
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This drawing is to be read in conjunction with the relevant Structural Engineer's drawings, structural calculations and structural details.
This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

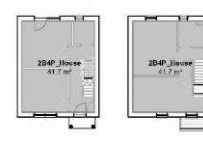
This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design/Detail/Assessment and all relevant current and active design rules that have been identified by Llandek Miloch Architects in accordance with the CDM Regulations 2015.

This drawing is copyright and is to be returned to the architect on completion of the contract.



Room Schedule - 3B5P House		
Name	Area	
Unit01		
Accessible WC	3.1 m ²	
Cupboard	0.5 m ²	
Cupboard	1.3 m ²	
Cupboard	0.8 m ²	
Entrance	11.0 m ²	
Kitchen / Dining	14.6 m ²	
Lounge	13.2 m ²	
00-Ground	46.2 m ²	
Bedroom	4.3 m ²	
Bedroom 1	12.7 m ²	
Bedroom 2	14.0 m ²	
Bedroom 3	8.8 m ²	
Bedroom	7.8 m ²	
01-Floor	46.2 m ²	
Attic	0.8 m ²	
Garage total	91.1 m ²	

Room Schedule - 2B4P House		
Name	Area	
Unit02		
Accessible WC	3.1 m ²	
Cupboard	1.8 m ²	
Cupboard	2.2 m ²	
Entrance	6.3 m ²	
Kitchen / Dining	13.9 m ²	
Lounge	12.9 m ²	
00-Ground	36.3 m ²	
Attic	0.8 m ²	
Bedroom	4.1 m ²	
Bedroom 1	14.9 m ²	
Bedroom 2	15.3 m ²	
Cupboard	0.8 m ²	
Bedroom	6.3 m ²	
01-Floor	36.8 m ²	
Garage total	76.1 m ²	



GIA 3B5P_House		
Level	Name	Area
00-Ground	3B5P_House	49.0 m ²
01-Floor	3B5P_House	42.9 m ²
Unit01		96.1 m ²
00-Ground	3B5P_House	49.0 m ²
01-Floor	3B5P_House	42.9 m ²
Unit04		96.1 m ²
Grand total		192.2 m ²

GIA 2B4P_House		
Level	Name	Area
00-Ground	2B4P_House	41.7 m ²
01-Floor	2B4P_House	41.7 m ²
Unit02		83.4 m ²
00-Ground	2B4P_House	41.7 m ²
01-Floor	2B4P_House	41.7 m ²
Unit03		83.4 m ²
Grand total		166.8 m ²

P3	Revised drawing for Planning	17	18	19	20	21	22
P2	Revised drawing for Planning	23	24	25	26	27	28
P1	Revised drawing for Planning	29	30	31	32	33	34

Rev: Name or description

LMA
Llandek Miloch Architects
5 Stanley Street, Croydon, Croydon, Surrey, CR9 2LS
Tel: +44 (0) 1883 404321

Project
Clywd Alyn - Penrhos Polish Village
Penrhos, Pwllheli, LL53 7HN

Title
Trefniant Cyffredinol - MATH 09
Planning, GA, TYPE 09
Ukhd Ogony - TYP Bloku 09

LMA Project	Drawing number	Rev
1708	PHS LMA 09 XX DR A 7100	P3

Notes

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This drawing is to be read in conjunction with the relevant Fire Safety Strategy drawings.

This drawing must be read in conjunction with LMA drawing 7501, Strategy, Design and Assessment and all sections at current and active Design and Assessment levels identified by LMA and the Architect in accordance with the CDM Regulations 2015.

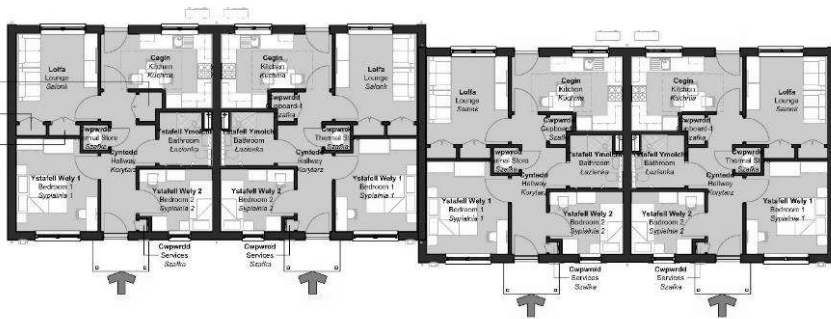
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3 Cynllun T6
Roof Plan
Plan Dachy
Scale: 1:100

House Type

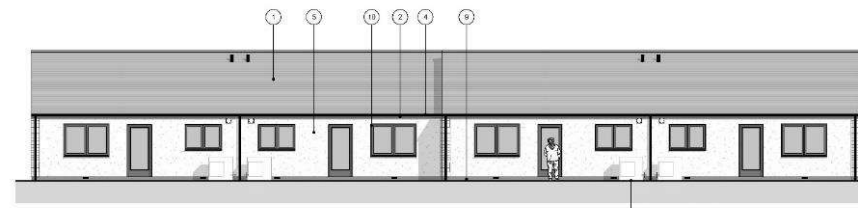
2B3P_Bungalow



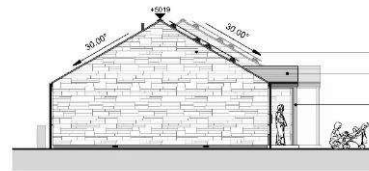
1 Llwr Gwaelod
Ground Floor
Parter
Scale: 1:100



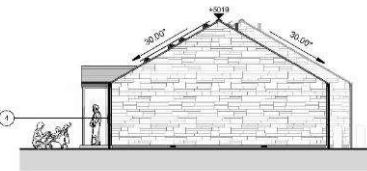
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Elewacja01_Przód
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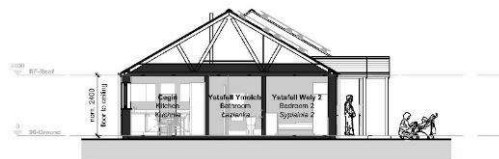
5 Drychiad02_Cefn
Elevation02_Rear
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Scale: 1:100



6 Drychiad03_Ochr
Elevation03_Side
Elewacja03_Bok
Scale: 1:100



7 Drychiad04_Ochr
Elevation04_Side
Elewacja04_Bok
Scale: 1:100



8 Croestoriad01
Section01
Przekroj01
Scale: 1:100

Room Schedule - 2B3P Bungalow		
Name	Area	
Rear01	8.5 m²	
Rear02	7.0 m²	
Rear03	4.1 m²	
Rear04	11.1 m²	
Rear05	11.6 m²	
Rear06	1.0 m²	
Rear07	1.0 m²	
Rear08	0.3 m²	
Rear09	0.3 m²	
Rear10	0.2 m²	
Unit01: 11	57.9 m²	

GIA_2B3P_Bungalow		
Name	Number	Area
2B3P_Bungalow	Unit01	61.2 m²
2B3P_Bungalow	Unit02	61.2 m²
2B3P_Bungalow	Unit03	61.2 m²
2B3P_Bungalow	Unit04	61.2 m²
2B3P_Bungalow	Unit05	61.2 m²
2B3P_Bungalow	Unit06	61.2 m²
2B3P_Bungalow	Unit07	61.2 m²
2B3P_Bungalow	Unit08	61.2 m²
2B3P_Bungalow	Unit09	61.2 m²
2B3P_Bungalow	Unit10	61.2 m²
2B3P_Bungalow	Unit11	61.2 m²
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2B3P_Bungalow	Unit21	61.2 m²
2B3P_Bungalow	Unit22	61.2 m²
2B3P_Bungalow	Unit23	61.2 m²
2B3P_Bungalow	Unit24	61.2 m²
2B3P_Bungalow	Unit25	61.2 m²
2B3P_Bungalow	Unit26	61.2 m²
2B3P_Bungalow	Unit27	61.2 m²
2B3P_Bungalow	Unit28	61.2 m²
2B3P_Bungalow	Unit29	61.2 m²
2B3P_Bungalow	Unit30	61.2 m²
2B3P_Bungalow	Unit31	61.2 m²
2B3P_Bungalow	Unit32	61.2 m²
2B3P_Bungalow	Unit33	61.2 m²
2B3P_Bungalow	Unit34	61.2 m²
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2B3P_Bungalow	Unit44	61.2 m²
2B3P_Bungalow	Unit45	61.2 m²
2B3P_Bungalow	Unit46	61.2 m²
2B3P_Bungalow	Unit47	61.2 m²
2B3P_Bungalow	Unit48	61.2 m²
2B3P_Bungalow	Unit49	61.2 m²
2B3P_Bungalow	Unit50	61.2 m²
2B3P_Bungalow	Unit51	61.2 m²
2B3P_Bungalow	Unit52	61.2 m²
2B3P_Bungalow	Unit53	61.2 m²
2B3P_Bungalow	Unit54	61.2 m²
2B3P_Bungalow	Unit55	61.2 m²
2B3P_Bungalow	Unit56	61.2 m²
2B3P_Bungalow	Unit57	61.2 m²
2B3P_Bungalow	Unit58	61.2 m²
2B3P_Bungalow	Unit59	61.2 m²
2B3P_Bungalow	Unit60	61.2 m²
2B3P_Bungalow	Unit61	61.2 m²
2B3P_Bungalow	Unit62	61.2 m²
2B3P_Bungalow	Unit63	61.2 m²
2B3P_Bungalow	Unit64	61.2 m²
2B3P_Bungalow	Unit65	61.2 m²
2B3P_Bungalow	Unit66	61.2 m²
2B3P_Bungalow	Unit67	61.2 m²
2B3P_Bungalow	Unit68	61.2 m²
2B3P_Bungalow	Unit69	61.2 m²
2B3P_Bungalow	Unit70	61.2 m²
2B3P_Bungalow	Unit71	61.2 m²
2B3P_Bungalow	Unit72	61.2 m²
2B3P_Bungalow	Unit73	61.2 m²
2B3P_Bungalow	Unit74	61.2 m²
2B3P_Bungalow	Unit75	61.2 m²
2B3P_Bungalow	Unit76	61.2 m²
2B3P_Bungalow	Unit77	61.2 m²
2B3P_Bungalow	Unit78	61.2 m²
2B3P_Bungalow	Unit79	61.2 m²
2B3P_Bungalow	Unit80	61.2 m²
2B3P_Bungalow	Unit81	61.2 m²
2B3P_Bungalow	Unit82	61.2 m²
2B3P_Bungalow	Unit83	61.2 m²
2B3P_Bungalow	Unit84	61.2 m²
2B3P_Bungalow	Unit85	61.2 m²
2B3P_Bungalow	Unit86	61.2 m²
2B3P_Bungalow	Unit87	61.2 m²
2B3P_Bungalow	Unit88	61.2 m²
2B3P_Bungalow	Unit89	61.2 m²
2B3P_Bungalow	Unit90	61.2 m²
2B3P_Bungalow	Unit91	61.2 m²
2B3P_Bungalow	Unit92	61.2 m²
2B3P_Bungalow	Unit93	61.2 m²
2B3P_Bungalow	Unit94	61.2 m²
2B3P_Bungalow	Unit95	61.2 m²
2B3P_Bungalow	Unit96	61.2 m²
2B3P_Bungalow	Unit97	61.2 m²
2B3P_Bungalow	Unit98	61.2 m²
2B3P_Bungalow	Unit99	61.2 m²
2B3P_Bungalow	Unit100	61.2 m²

GIA_2B3P_Bungalow		
Name	Number	Area
2B3P_Bungalow	Unit01	61.2 m²
2B3P_Bungalow	Unit02	61.2 m²
2B3P_Bungalow	Unit03	61.2 m²
2B3P_Bungalow	Unit04	61.2 m²
2B3P_Bungalow	Unit05	61.2 m²
2B3P_Bungalow	Unit06	61.2 m²
2B3P_Bungalow	Unit07	61.2 m²
2B3P_Bungalow	Unit08	61.2 m²
2B3P_Bungalow	Unit09	61.2 m²
2B3P_Bungalow	Unit10	61.2 m²
2B3P_Bungalow	Unit11	61.2 m²
2B3P_Bungalow	Unit12	61.2 m²
2B3P_Bungalow	Unit13	61.2 m²
2B3P_Bungalow	Unit14	61.2 m²
2B3P_Bungalow	Unit15	61.2 m²
2B3P_Bungalow	Unit16	61.2 m²
2B3P_Bungalow	Unit17	61.2 m²
2B3P_Bungalow	Unit18	61.2 m²
2B3P_Bungalow	Unit19	61.2 m²
2B3P_Bungalow	Unit20	61.2 m²
2B3P_Bungalow	Unit21	61.2 m²
2B3P_Bungalow	Unit22	61.2 m²
2B3P_Bungalow	Unit23	61.2 m²
2B3P_Bungalow	Unit24	61.2 m²
2B3P_Bungalow	Unit25	61.2 m²
2B3P_Bungalow	Unit26	61.2 m²
2B3P_Bungalow	Unit27	61.2 m²
2B3P_Bungalow	Unit28	61.2 m²
2B3P_Bungalow	Unit29	61.2 m²
2B3P_Bungalow	Unit30	61.2 m²
2B3P_Bungalow	Unit31	61.2 m²
2B3P_Bungalow	Unit32	61.2 m²
2B3P_Bungalow	Unit33	61.2 m²
2B3P_Bungalow	Unit34	61.2 m²
2B3P_Bungalow	Unit35	61.2 m²
2B3P_Bungalow	Unit36	61.2 m²
2B3P_Bungalow	Unit37	61.2 m²
2B3P_Bungalow	Unit38	61.2 m²
2B3P_Bungalow	Unit39	61.2 m²
2B3P_Bungalow	Unit40	61.2 m²
2B3P_Bungalow	Unit41	61.2 m²
2B3P_Bungalow	Unit42	61.2 m²
2B3P_Bungalow	Unit43	61.2 m²
2B3P_Bungalow	Unit44	61.2 m²
2B3P_Bungalow	Unit45	61.2 m²
2B3P_Bungalow	Unit46	61.2 m²
2B3P_Bungalow	Unit47	61.2 m²
2B3P_Bungalow	Unit48	61.2 m²
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2B3P_Bungalow	Unit60	61.2 m²
2B3P_Bungalow	Unit61	61.2 m²
2B3P_Bungalow	Unit62	61.2 m²
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2B3P_Bungalow	Unit73	61.2 m²
2B3P_Bungalow	Unit74	61.2 m²
2B3P_Bungalow	Unit75	61.2 m²
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2B3P_Bungalow	Unit87	61.2 m²
2B3P_Bungalow	Unit88	61.2 m²
2B3P_Bungalow	Unit89	61.2 m²
2B3P_Bungalow	Unit90	61.2 m²
2B3P_Bungalow	Unit91	61.2 m²
2B3P_Bungalow	Unit92	61.2 m²
2B3P_Bungalow	Unit93	61.2 m²
2B3P_Bungalow	Unit94	61.2 m²
2B3P_Bungalow	Unit95	61.2 m²
2B3P_Bungalow	Unit96	61.2 m²
2B3P_Bungalow	Unit97	61.2 m²
2B3P_Bungalow	Unit98	61.2 m²
2B3P_Bungalow	Unit99	61.2 m²
2B3P_Bungalow	Unit100	61.2 m²

Minimum thermal requirements to achieve:		
1. External walls: 0.18W/m²K	2. Roof: 0.17W/m²K	3. Floor: 0.18W/m²K
4. Windows: 1.40W/m²K	5. External doors: 1.40W/m²K	6. Outside walls: 1.40W/m²K

KEY TO MATERIALS

- Roof
1. Natural Slate
2. UPVC Fascia Boards - Colour GRAY
3. Timber Pests - Colour to be agreed
4. UPVC half round round downspout - Colour BLACK

- Walls
5. Roughcast Render - Colour to be agreed
6. Central Rough Render - Colour to be agreed
7. Natural Stone - Colour to be agreed
8. Central 'Cluck' cladding - Colour to be agreed
9. Brick slips

- Windows and Doors
10. Timber framed - Aluminium clad composite windows and doors - Colour to be agreed

- Solar PV
Orientation of PV panels varies across the site and location.
Development to include both free and building mounted fixed and flat roofs. Exact number, location, and type of flat and fixed roofs to be agreed with planning department.

- Ecology - Bird / Bat needs
Development to include both free and building mounted fixed and flat roofs. Exact number, location, and type of flat and fixed roofs to be agreed with planning department.

LMA Project		
1708	PHS LMA 10 XX DR A	7185 P3

Project
Cwll Alyn - Penrhos Polish Village
Penrhos, Pwllheli, LL53 7HN

Title
Trefniant Cyffwrddol - MATH 10
Planning, GA, TYPE 10
Ukdat Ogohy - TYP Bloku 10

LMA Project		
1708	PHS LMA 10 XX DR A	7185 P3



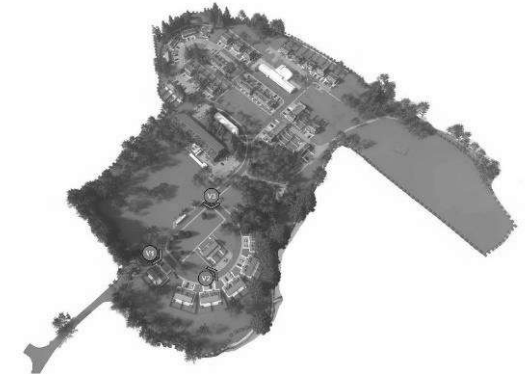
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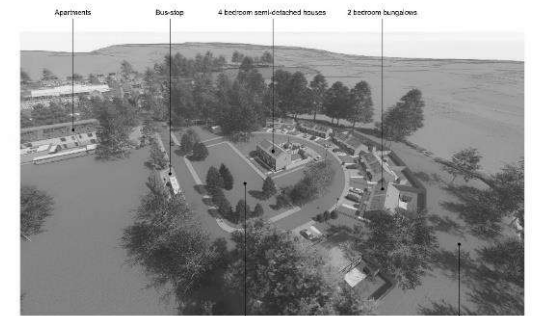
Visualisation 02



Visualisation 03



Key to Visualisations



Aerial View - Detail

Open green space

Open green space





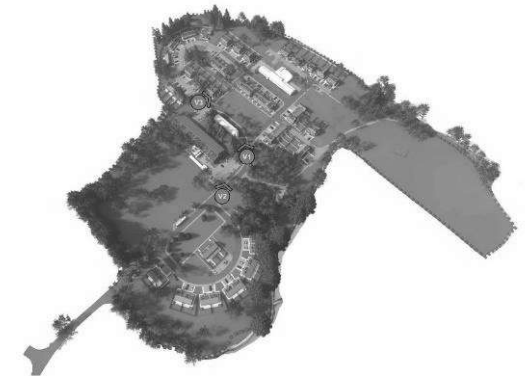
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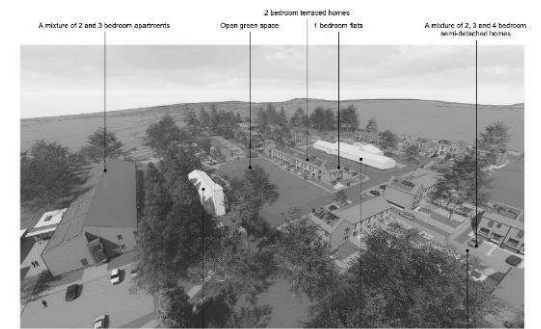
Visualisation 02



Visualisation 03



Key to Visualisations



Aerial View - Detail





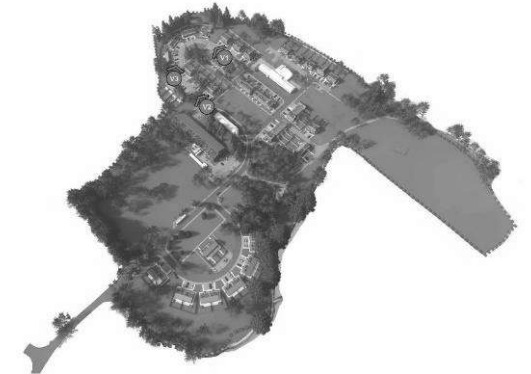
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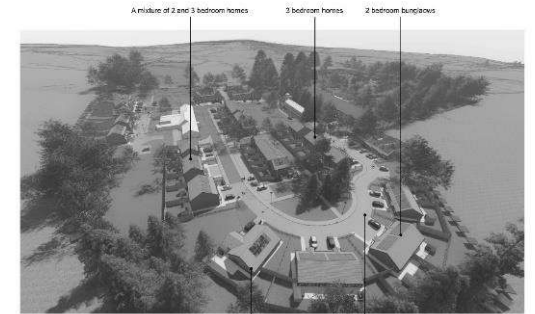
Visualisation 02



Visualisation 03



Key to Visualisations



Aerial View - Detail

Cynllunio
Derbyn - 06/05/2022





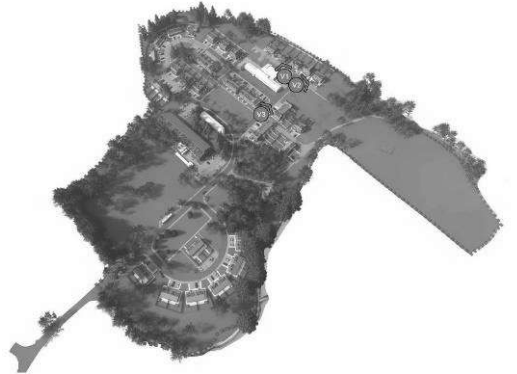
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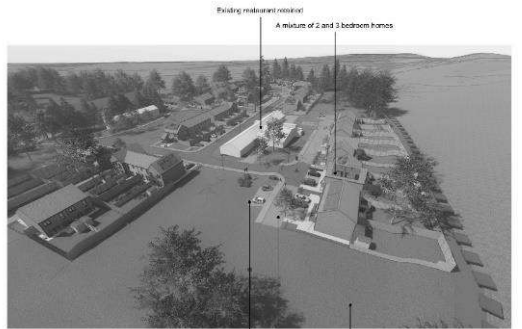
Visualisation 02



Visualisation 03



Key to Visualisations



Aerial View - Detail

Visitor parking
'Horse-drawn' type road
Overgrown waste

Cynllunio
Derbyn - 06/05/2022



