

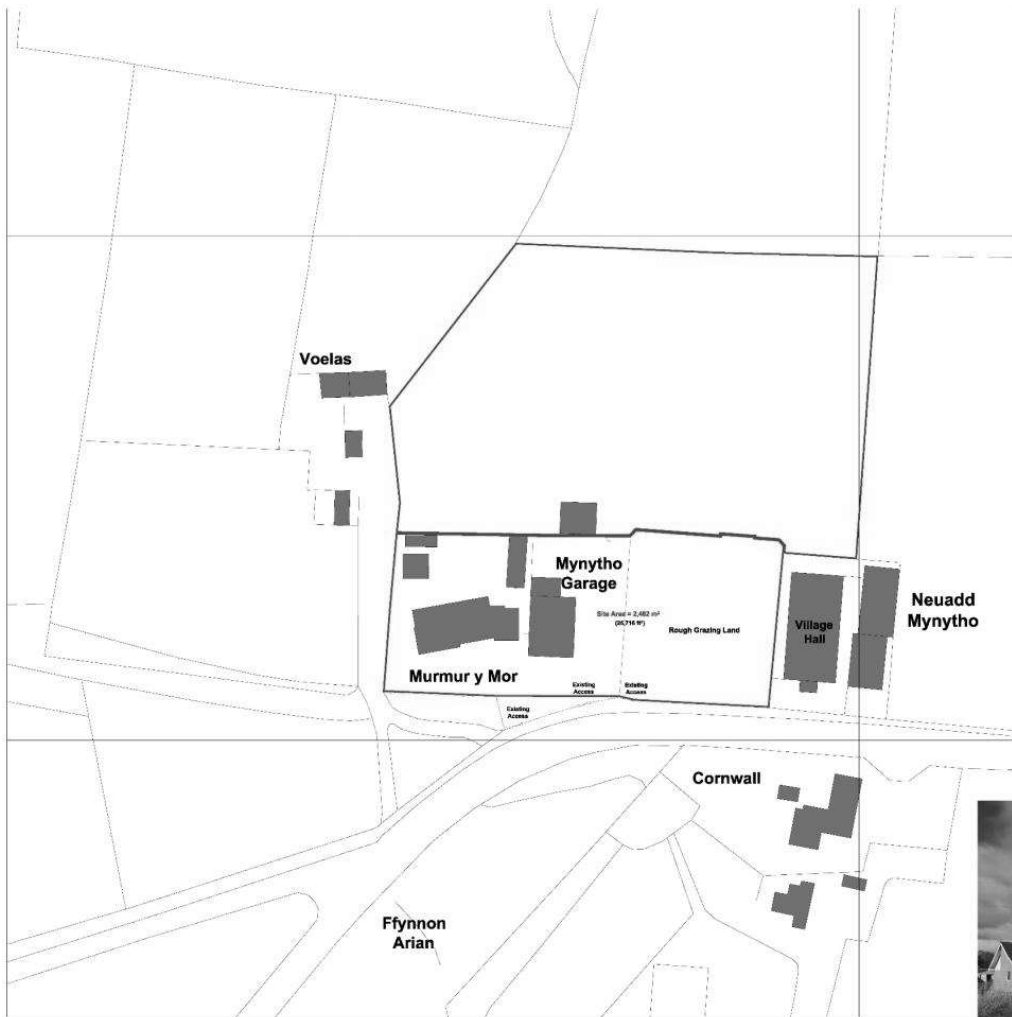
230400m

230500m



331300m

331200m



Location Plan
1:500 @ A1

0m

100m

**THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL.
LAND AT MURMUR Y MOR & MYNNYTHO GARAGE, PWLLHELI LL53 7RH
EXISTING SITE & LOCATION PLANS**

230400m 230500m



331300m

331200m



2021 Google Overlay
1:1250 @ A1

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The representation of a road, track or path is no evidence of a right of way.
The representation of features as lines is no evidence of a property boundary.
Heights are given in metres above datum.
The alignment of tunnels is approximate.



Existing Site Photo 1



PLANNING APPLICATION DRAWING



DRAWING TITLE:	EXISTING SITE & LOCATION PLANS	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PLANNING22
DRAWING NO:	827-1-08H200/01	DRAWN BY:	RAJ
REV.:	-		

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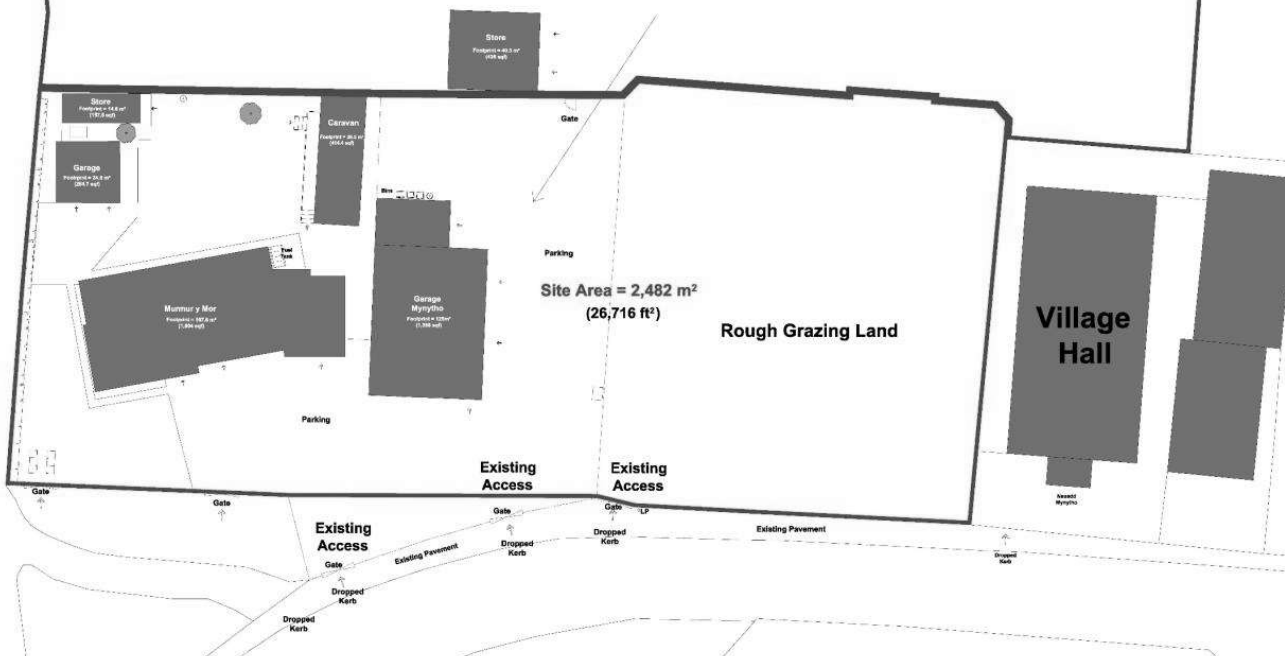
Derbyn - 11/12/2023

Existing Site Block Plan
1:200 @ A1



Schedule of Areas:-		
	Footprint	GIA
Murmur Y Mor	167.6	151.4
Garage	24.6	20.9
Store	14.6	13.0
Mynytho Garage	123.0	119.4
Caravan	38.5	35.7
Store	40.5	35.6
Total	414.8m2	375.9m2
Total Square Foot	4,465 sqf	4,046 sqf

Area of previously developed land
1,553m2 (16,716 sqf)



Existing Site Photo 2



Existing Site Photo 3

**Neuadd
Mynytho**



PLANNING APPLICATION DRAWING



**THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL.
LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH
EXISTING SITE BLOCK PLAN**

DRAWING TITLE:	EXISTING SITE BLOCK PLAN	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PLANNING22
DRAWING NO.:	827-10BH200/02	DRAWN BY:	RAJ
		REV.:	-



Proposed Site Block Plan
1:200 @ A1



Schedule of Areas:-		Total Footprint (m ²)	Total GIA (m ²)	Total GIA (sqft)
Single Storey Public House	Ground Floor	346	323	3,477
25 Bed Hotel/Gwesty	Ground Floor First Floor	445 N/A	418 418	4,495 4,495
Total		791 m²	1,158 m²	12,467 sqft

Summary of the Revised Proposal

Following the previous proposal, now withdrawn (application C23/0089/39/AM) submitted in February 2023, and in response to comments from the Local Community/Town Council, Statutory Consultees and Planning Officer; this revised proposal has been amended as follows:-

Revised Description: Demolition of the existing residential dwelling and commercial garage along with all associated ancillary buildings, the construction of a single-storey public house and a two-storey 25 bed hotel, the creation of parking areas for joint use with the Village Hall/Neuadd Mynytho, and improvements to the existing vehicular access.

Now omitted from the previous proposal:-

- The 16 self-serviced Holiday Accommodation on the greenfield land to the rear of the site removed.
- The 5 two-storey Local Market Houses on the field removed.

This revised application: in summary, is to re-develop this existing residential and commercial site and create a new mixed use development that includes:-

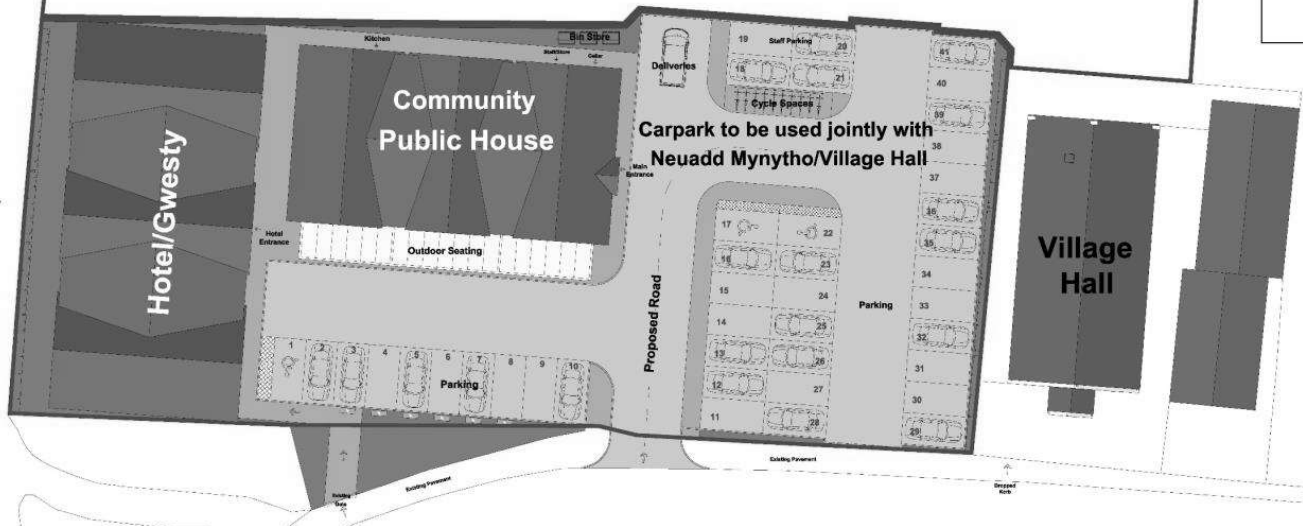
- a single-storey Public House,
- a two-storey 25 Bed Hotel,
- shared parking area for the Village Hall/Neuadd Mynytho.

The proposal will also include:-

- an upgraded vehicular access to the existing site,
- cycle spaces for the public and staff,
- green infrastructure & permeable paving to minimize the environmental impacts,
- electric vehicle charging points,
- a reduction in scale, form/pattern and re-designed to reduce the massing,
- a less intrusive and intense design to reduce the impact of the development,
- retention of the rural break between the buildings & the Village Hall not consolidating development and retaining the visual separation,
- the use of local materials,
- less road/tarmac surfaced areas,
- a sustainable surface water drainage system (SUDA),
- soil drainage discharging into either the mains sewerage system or private sewage treatment,
- social and economic benefits,
- all new buildings located within the existing boundary of the existing dwelling and commercial garage, on Previously Developed/Brownfield Land.

This is an outline application with some reserved matters and permission for appearance, landscaping, layout and scale is not sought. Further details subject to the usual application for reserved matters resolving any conditions will be submitted should this revised outline application be successful.

- Plans illustrating the proposal along with the minimum and maximum heights have been provided.
- The site includes approximately 0.16h (16,716 sqft) of Previously Developed Land/Brownfield Land, which incorporates an existing residential dwelling, commercial buildings, various existing accesses and areas of hard standings.
- Development on the greenfield land located to the north has been omitted.
- The site is outside the Llyn Area of Outstanding Natural Beauty designation.
- The site is outside the Foel Gron a Thir Comin Mynytho Site of Special Scientific Interest (SSSI).



Neuadd Mynytho



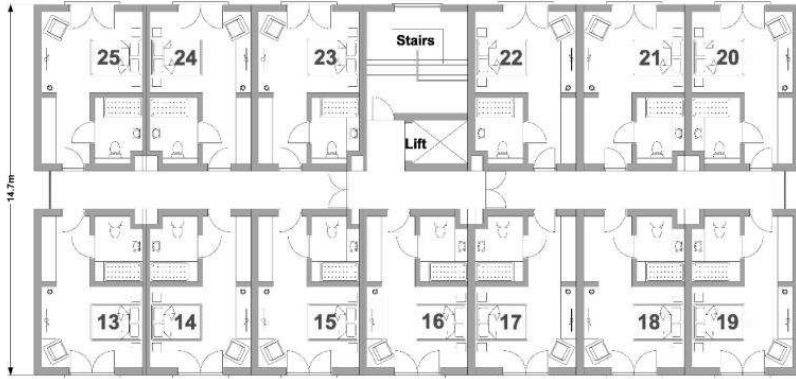
PLANNING APPLICATION DRAWING



THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL. LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH PROPOSED OUTLINE SITE BLOCK PLAN

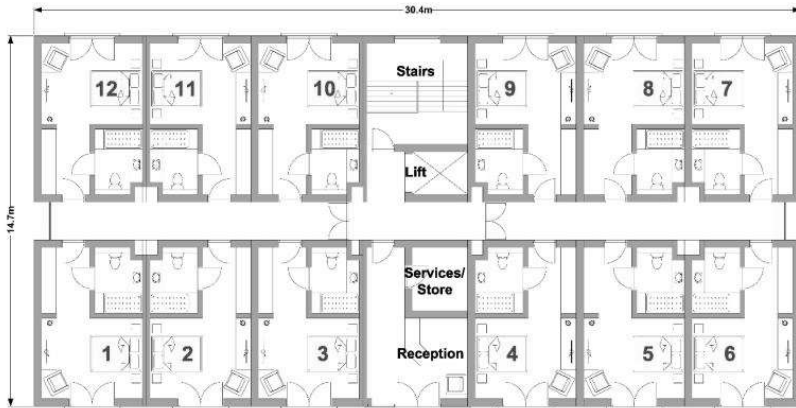
DRAWING TITLE:	PROPOSED OUTLINE SITE BLOCK PLAN	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PLANNING22
DRAWN BY:	RAJ		
DRAWING NO:	827-1/0BM200/03	REV:	-

Proposed Hotel/Gwesty Floor Plans
1:100 @ A1



Proposed 1st Floor Plan

First Floor GIA 418m² (4,495 sqft)



Proposed Ground Floor Plan

Footprint = 445m² (4,790 sqft)
Typical Double Bedroom GIA 24m² (258 sqft)

Ground Floor GIA 418m² (4,495 sqft)
Total GIA = 836m² (8,990 sqft)



3D Perspective

**THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL.
LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH
OUTLINE HOTEL/GWESTY GENERAL ARRANGEMENTS**

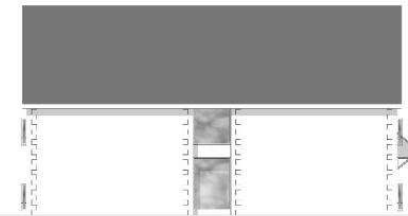
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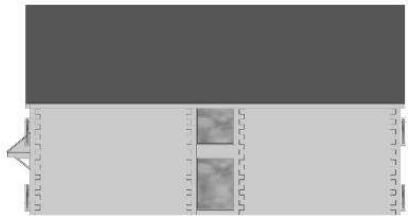
Proposed Hotel/Gwesty Front Elevation
1:100 @ A1



Proposed Hotel/Gwesty Rear Elevation
1:100 @ A1



Proposed Hotel/Gwesty Side Elevation 1
1:100 @ A1



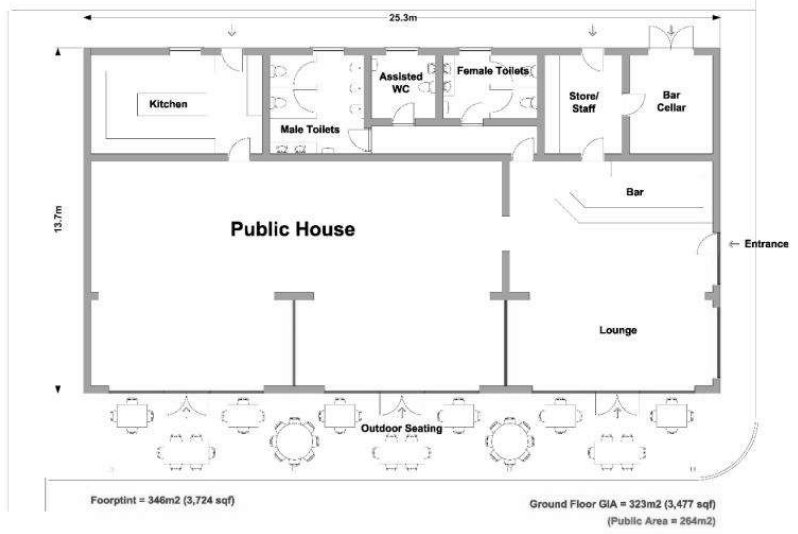
Proposed Hotel/Gwesty Side Elevation 2
1:100 @ A1



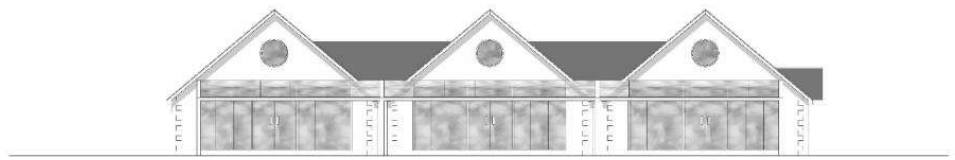
PLANNING APPLICATION DRAWING



DRAWING TITLE:	OUTLINE HOTEL/GWESTY GENERAL ARRANGEMENTS	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PL-ANN-1020
DRAWING NO:	827-10BH200/04	DRAWN BY:	RAJ
		REV:	-



Proposed Single Storey Public House Floor Plan
1:100 @ A1



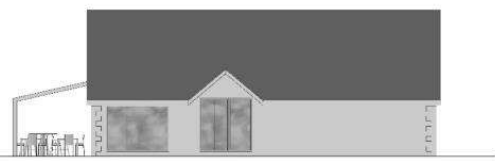
Proposed Single Storey Public House Front Elevation
1:100 @ A1



Proposed Single Storey Public House Rear Elevation
1:100 @ A1



Proposed Single Storey Public House Side Elevation 1
1:100 @ A1



Proposed Single Storey Public House Side Elevation 2
1:100 @ A1



PLANNING APPLICATION DRAWING



**THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL.
LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH
OUTLINE COMMUNITY PUBLIC HOUSE GENERAL ARRANGEMENTS**

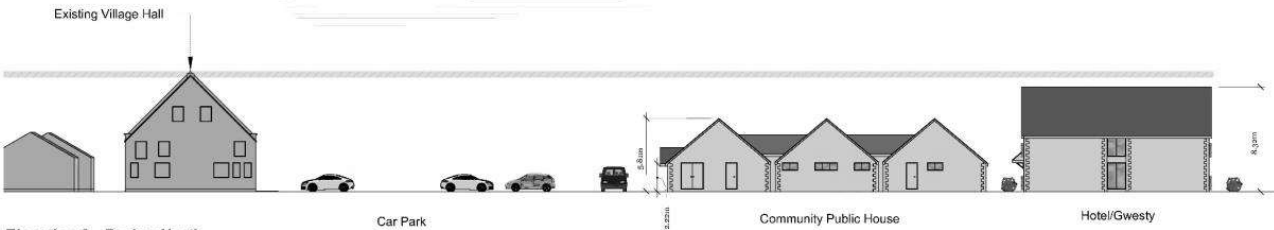
DRAWING TITLE:	OUTLINE COMMUNITY PUBLIC HOUSE GENERAL ARRANGEMENTS	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PL-ANN1222
DRAWING NO:	827-10BH200-05	DRAWN BY:	RAJ
		REV:	-

Elevation 1 - Facing South
1:200 @ A1 (Showing Dimensions)



Proposed Heights

	Upper	Lower
Existing Village Hall	8.32m	4.42m
Hotel/Gwesty	8.32m	4.42m
Community Public House	5.81m	2.22m



Elevation 3 - Facing North
1:200 @ A1



Site Elevation Key Plan
1:500 @ A1



Elevation 2 - Facing West
1:200 @ A1



Elevation 4 - Facing East
1:200 @ A1

Planning Policy Considerations Statement

Policy ISA 2: Community Facilities (Public House and Shared Car Park)

This revised proposal is for a new Public House and car park which is to be also shared with the adjacent Village Hall, this will help sustain and enhance this existing community facility.

These proposed new facilities:-

- are adjacent to the development boundary,
- are located outside the development boundaries within a cluster,
- will provide an essential facility to support the local community,
- are of an appropriate scale and type compared to the size, character and function of the settlement,
- are easily accessible by foot, cycle and public transport,
- are new and enhanced multiuse,
- are in an accessible location along a busy road.

Policy TWR 2: Holiday Accommodation (Hotel)

This revised proposal is also for new permanent serviced holiday accommodation, which;

- is of a high quality design, layout and appearance,
- makes use of a suitable previously developed site,
- is appropriate in scale considering the site, location and settlement,
- will not result in a loss of permanent housing stock,
- is not sited within a primarily residential area,
- does not lead to an over-concentration of such accommodation within the area.



PLANNING APPLICATION DRAWING



**THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL.
LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH
OUTLINE SCALE, LIMITS & KEY PLAN**

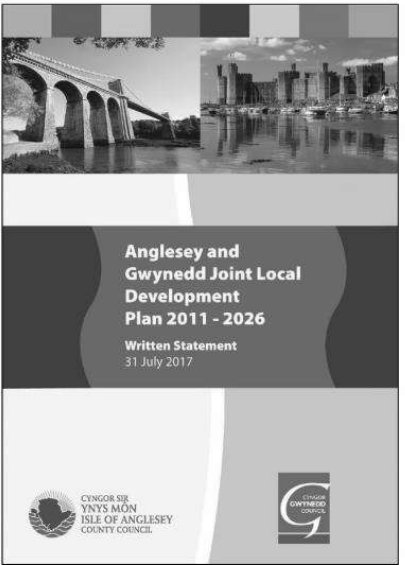
DRAWING TITLE:	OUTLINE SCALE, LIMITS & KEY PLAN	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PLANNING22
DRAWING NO:	827-10BH200/08	DRAWN BY:	RAJ
		REV:	-

Planning Policy Summary

Relevant Policies:
 Section 36(1) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasize that planning decisions should be made in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.
 The Well-being of Future Generations (Wales) Act 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the seven well-being goals within the Act and 'Sustainable Development Principle'.
Anglesey and Gwynedd Joint Local Development Plan 2011-2026, adopted 31 July 2017:
 PS 1: The Welsh Language and Culture
 ISA 2: Community Facilities
 TR 5: Policy standards
 TR 4: Managing transport impacts
 PS 5: Sustainable development
 PS 6: Addressing and adapting to the effects of climate change
 PCYTF 1: Development boundaries
 PCYTF 2: Development Criteria
 PCYTF 3: Design and place shaping
 PCYTF 4: Design and landscaping
 PS 13: Providing opportunities for a prosperous economy
 PS 14: The visitor's economy
 PS 15: Town centre and retail developments
 MANN 5: Retailing in the town centre
 PS 17: Settlement strategy
 PS 19: Conserving and where appropriate enhancing the natural environment
 AMG 2: Special landscape areas
 AMG 5: Local landscape conservation
 AMG 6: Protection sites of local or regional significance
 PS 20: Conserving and where appropriate enhancing heritage assets
 AT 1: Conservation areas, world heritage sites and registered historic landscapes, parks and gardens

Supplementary Planning Guidance (SPG):
 SPG: Maintaining and creating distinctive and sustainable communities
 SPG: Local facilities and accommodations
 SPG: Character of the landscape
 SPG: Wildlife sites

National Policies:
 Future Wales: The National Plan 2040
 Planning Policy Wales (Edition 11 - February 2021)
 Technical Advice Note (TAN) 4: Retail and Commercial Developments
 TAN 5: Planning and nature conservation
 TAN 6: Planning for sustainable rural communities
 TAN 13: Tourism
 TAN 18: Transport
 TAN 20: Planning and the Welsh Language
 TAN 23: Economic Development
 TAN 24: The Historic Environment



6.3 Managing Growth and Development - Economy and Regeneration

1. The scale, type and character of the proposed development is appropriate for its urban/rural setting.
 2. The proposed development is of high quality in terms of design, layout and appearance.
 3. The proposed development will support and extend the range of facilities within the Plan Area.
 4. This proposal is supported by evidence to demonstrate that there would be local employment opportunities.
 Where appropriate, this development can be accessed by various modes of transport, especially sustainable modes of transport, such as walking, cycling and public transport.

Explanation:

6.3.50 In order to sustain a prosperous tourism industry that provides employment opportunities for local communities, it is essential to extend the variety and standard of visitor attractions and facilities. New attractions and facilities can help in seeking, analysing and generating income. The developments can also increase the range of facilities open to local people.

6.3.51 The natural and built environments are key factors in attracting tourists into the Plan area. However new tourism developments can have a negative impact upon the local environment and character if they are inappropriately developed/implemented/located.

6.3.52 This policy aims to encourage the development of high quality sustainable tourism attractions and facilities in the right place. New attractions and facilities should be located, where possible, within designated landscapes where outdoor access/corridor services can be a major benefit.

6.3.53 The policy also recognises that in exceptional circumstances, some attractions and facilities will require a more extensive, non-rural location which could be acceptable where they result in an overall local benefit and rural employment gain. This type of development would be, for example, those centred with features of the natural or historic environment or outdoor activity such as visitor or interpretative centres or development associated with outdoor activities. However, development should not be at the expense of the local environment or countryside. Outside of the development boundaries proposals should first seek to reuse or extending existing buildings in order to protect the countryside from inappropriate development. However, new built structures could be permitted in certain areas of the countryside if it can be demonstrated there are no reasonably preferable sites and buildings. All proposals outside existing settlements will need to establish why a rural location is necessary.

POLICY 70.3: VISITOR ACCOMMODATION

Proposals for:
 1. The development of new accommodation (rural or self-serviced holiday accommodation), or
 2. The conversion of existing buildings into such accommodation, or
 3. Extending existing holiday accommodation establishments.
 will be permitted, provided they are of a high quality in terms of design, layout and appearance and that all the following criteria can be met:

6.3 Managing Growth and Development - Economy and Regeneration

1. In the case of new built accommodation, that the development is located within a development boundary, or within an area of a suitable previously developed site.
 2. That the proposed development is appropriate in scale considering the site, location and/or settlement in question.
 3. That the proposed development results in a net increase in the number of permanent housing stock.
 4. That the development is not sited within a priority residential area or does not significantly harm the residential character of an area.
 5. That the development does not lead to an over-concentration of such accommodation within the area.

Explanation:

6.3.54 This policy is not relevant to proposals to establish new state holiday and touring caravans, holiday homes or alternative luxury camping sites. Such proposals will be considered under policies 100.2 and 100.3 of this Plan.

6.3.55 In terms of serviced accommodation, this policy applies to a variety of different types from large high quality hotels to small bed and breakfast accommodation. Quality hotels and other serviced accommodation can particularly bring significant economic benefits to the Plan area and because the range of holiday accommodation available to visitors, it is widely recognised that they also have an economic range of such accommodation. The aim of this policy is to support the principle of expanding the range and improving the quantity and quality of second accommodation, in line with Policy PS 24. It is also important that the use of holiday accommodation is not concentrated in one area.

6.3.56 Evidence about occupancy rates suggests that good quality self-serviced accommodation continues to be in popular favour in Wales. Policy PS 24 and Policy 70.2 recognise that managing the wider range of high quality self-serviced accommodation is essential in providing visitors with choice, the policy therefore aims to support the principle of providing high quality self-serviced holiday accommodation in accessible locations with services such a choice.

6.3.57 Where planning permission is given for self-serviced accommodation, a condition will be attached to ensure that the building will not be used as holiday accommodation and that it cannot be used for permanent occupation. New built self-serviced accommodation will not be permitted in the same countryside or parkland area from which holiday homes have been removed from the area.

6.3.58 It is noted that whilst planning permission is being granted for particular units within the Gwynedd Local Planning Authority area for guest accommodation, there is a concern about the availability of self-serviced accommodation in some parts of the Plan area. This could mean that proposals and operations may not receive the comparative return in income from when they are a separate development. Clearly it is not the intention of national guidance or the SPG for this policy to limit an over-concentration of this type of holiday accommodation within a particular location, which would result in business failure. Guidance will be required to submit a detailed location plan, which demonstrates the siting of the proposed scheme. This would enable the Council to assess whether the scheme has a realistic chance of being viable. It is not appropriate in nature, and would not be made sure that there is no likelihood to allow the development of existing buildings for the conversion for holiday use, and that allow them to remain to establish use if there is no available to holiday use. Supplementary Planning Guidance will be published to provide more information about the matter.

6.3 Managing Growth and Development - Safe, Healthy, Distinctive and Vibrant Communities

POLICY 10.2: COMMUNITY FACILITIES

The Plan will actively sustain and enhance community facilities by:

1. Encouraging the development of new community facilities, provided that:
 - a. they are located within or adjoining development boundaries or they are located outside development boundaries but within areas where the proposal will benefit an existing facility to support the local community;
 - b. in the case of new buildings, that the local community's needs cannot be satisfied through the dual use of existing facilities or the conversion of existing buildings, unless the proposal is for a facility being relocated; it can be demonstrated that the existing site is no longer suitable for that use;
 - c. the proposal is of an appropriate scale and type compared to the site, character and function of the settlement;
 - d. the proposal is readily accessible by walk, cycle and public transport.
 The provision of new or enhanced multi-use community facilities, including the location of hardware, school, library and leisure facilities in accessible locations will be encouraged.
2. Reducing the loss or change of use of an existing community facility unless:
 - a. a suitable replacement facility can be provided by the developer either on or off site, and with any and all associated costs for items other than the site, or
 - b. it can be demonstrated that the facility is inappropriate or surplus to requirements;
 - c. in the case of a commercially operated facility:
 - there is evidence that the current use has ceased to be financially viable, and
 - that could not reasonably be expected to become financially viable and
 - no other viable commercial use can be established; and
 - there is evidence of genuine attempts to reinstate the facility, which have been unsuccessful.

Explanation:

6.3.59 Policy 10.2 aims to protect existing community facilities and encourage the development of new facilities where appropriate. Local leisure and community facilities are important to the health, social and cultural life of the community. The Plan Area, as well as its economic well-being, for the provision of the policy, community facilities are defined as facilities used by local communities for health, leisure, social and educational purposes, and include schools, libraries, leisure centres, health care premises, fitness, village halls, community, places of worship, public facilities, and any other facility for the benefit of the local community.

6.3.60 Where a new facility is proposed outside a settlement, it must be demonstrated that the proposed location is the best available and it is accessible to the local community. Evidence to existing community facilities which are not viable and need to be replaced will be granted where it can be demonstrated that the facility is not located near the north of the community is to occur.

...making use of a previously developed site, ...helping to sustain and enhance an existing community facility



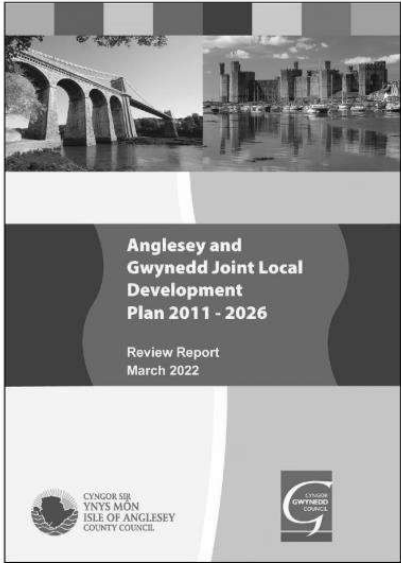
THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL. LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH 3D SITE PERSPECTIVE 1



PLANNING APPLICATION DRAWING



DRAWING TITLE:	3D SITE PERSPECTIVE 1	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PLANNING20
DRAWN BY:	RAJ	DRAWN BY:	RAJ
DRAWING NO:	827-10BM20006	REV:	-



Wales. The Act also gives Welsh Ministers the task of setting targets to reduce greenhouse emissions and set carbon budgets. It introduces new powers to increase the amount of outdoor to be installed, as well as increasing the quality of materials to be recycled. The act also places a duty on Natural Resources Wales (NRW) to prepare a State of Natural Resources Report and Area Statements.

Well-being of Future Generations (Wales) Act 2015

2.6 Although the date of this Act is 2015, it came into force after the LDP was submitted for examination (April 2016). The Well-being of Future Generations (Wales) Act received Royal Assent in April 2015 and came into force on 1 April 2016. The Act strengthens the current governance arrangements for improving the well-being of Wales by ensuring that sustainable development is at the heart of decision made by government and public bodies. It aims to make a difference to the lives of people in Wales in relation to a number of well-being goals including improving health, culture, heritage and the sustainable use of resources. The Act provides the legislative framework for the preparation of Local Well-being Plans, which replace Single Integrated Plans.

2.7 The Act's seven well-being goals are as follows:

1. A prosperous Wales
2. A healthier Wales
3. A healthier Wales
4. A more equal Wales
5. A Wales of vibrant culture & thriving Welsh language
6. A Wales of vibrant culture & thriving Welsh language
7. A globally responsible Wales

2.8 During the examination of the Act LDP, the implications of the Act were addressed to ensure that the Plan reflected the aims contained in the Act.

Revisions to National Planning Policy guidance

National Plans and Policies

Future Wales: The National Plan 2040 (2021)

2.9 Future Wales: The National Plan 2040 is the national development framework, setting the direction for development in Wales up to 2040. It is a development plan with a strategy for addressing key national priorities through the planning system, including maintaining and developing a vibrant economy, achieving decarbonisation and greater resilience, developing green economies and improving the health and well-being of our communities.

2.13 The National Plan identifies four regions for the future development of policy in Wales - North Wales, Mid Wales, South West Wales and South East Wales. Each region must have a Strategic Development Plan (SDP) that recognises the strengths and challenges in that region, and also complements the plans and work taking place in other regions. This means that regions should work well together to deal with issues that are occurring across the regions and maximise the opportunities for growth. Ideally, spending, SDPs will be prepared in order new to local Development Plans, but will not replace them. SDPs will continue to focus on local planning policies but may be more concise and more focused once the SDP has been adopted. Overall, the Plans (SDP and LDPs) are expected to be in line with the Future Wales Plan.

Planning Policy Wales Edition 11 (February 2021)

2.11 This document has significant implications for the planning system in Wales and identifies the planning system as one of the main mechanisms for creating sustainable places, and that the principles of place creation are a tool to achieve this through plan making and determining planning applications. Since the LDP was adopted in July 2017, the Welsh Government has published a revised version of Planning Policy Wales (Edition 10) in December 2020. The document has been re-drafted to ensure that the seven well-being goals and five ways of working of the Well-being of Future Generations Act 2015 are fully integrated into planning policy. It also ensures that the concept of creating better at the heart of national planning policy. This change ensures that planning decisions take account of all aspects related to well-being and provide new development that is sustainable and caters for everyone's needs. A factual update of Planning Policy Wales was published in February 2021 (Edition 11) to align it with the publication of Future Wales and include wider legislative, policy and guidance updates since Edition 10 was published in December 2020.

2.12 In addition, the following new or revised Technical Advice Notes have been published as well as revising some of them since the LDP was adopted in July 2017.

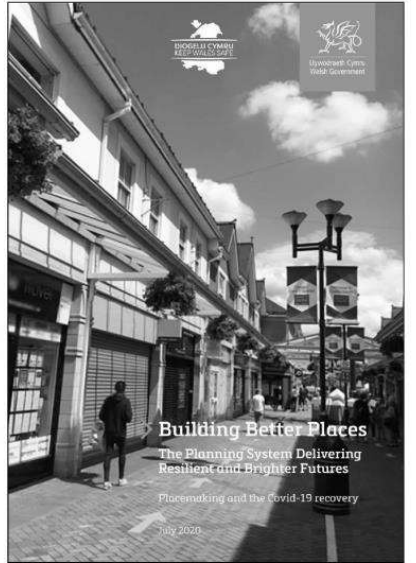
Technical Advice Note (TAN 15) Joint Housing Land Availability Study (JHALS) (January 2019)

2.13 Technical Advice Note (TAN 15) has been revised in its entirety as a result of the policy change to JHALS which now outlines that local Planning Authorities are expected to use their housing trajectory as the basis for monitoring the process of delivering their housing requirements.

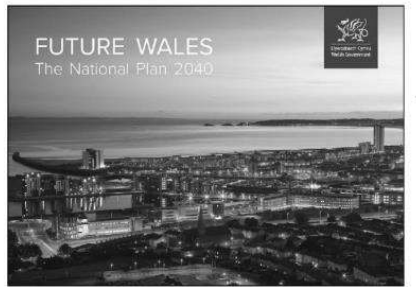
Technical Advice Note (TAN 8) Planning for Renewable Energy (July 2019)

2.14 Following the publication of Future Wales: The National Plan 2040 (2021) TAN 8 was revised.

Technical Advice Note (TAN 15) Development, flooding and coastal erosion



...making use of a previously developed site, ...helping to sustain and enhance an existing community facility



3D Site Perspective 2
NTS



Cynllunio
Derbyn - 11/12/2023

Osborne House

PLANNING APPLICATION DRAWING



**THE REDEVELOPMENT OF BROWNFIELD LAND TO CREATE A NEW HOTEL, COMMUNITY PUBLIC HOUSE & SHARED COMMUNITY PARKING FOR THE VILLAGE HALL.
LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH
3D SITE PERSPECTIVE 2**

DRAWING TITLE:	3D SITE PERSPECTIVE 2	DATE:	06/12/2023
CLIENT:	OSBORNE HOUSE LTD	SCALE:	AS SHOWN @ A1
PROJECT:	PROPOSED DEVELOPMENT LAND AT MURMUR Y MOR & MYNYTHO GARAGE, PWLLHELI LL53 7RH	FILE NAME:	PLANNING20
DRAWING NO.:	827-1-08H200/07	DRAWN BY:	RAJ
		REV.:	-





