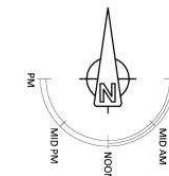
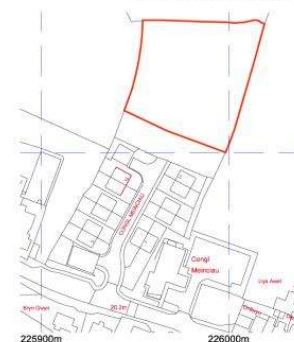


Cynllun Diwygiedig Amended Plan

Cynllunio
Deddf 2007



Location Plan
Scale 1:1250
Site outlined in red
Ordnance Survey (c) Crown Copyright 2016.
All rights reserved. Licence number 30002432



Specification

© The Kenefick Jones Partnership Ltd

THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF SITE, ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

DANGER

Prior to ANY works commencing the site and surrounding area MUST be checked for ALL overhead and underground services.

Contractor to obtain service plans from Utility providers and the site of works area checked over using a CAT scanner or other suitable locating device, where located, service routes to be identified and clearly marked on site and on site copies of plans.

If markings are lost during the working operation then the exercise will be repeated to ensure service routes remain clearly marked as required for the duration of the works, which must accord with HSE Guidance Document, 'HSG647 Avoiding danger from underground services'.

All works on existing underground services or any new works proposed must comply with the National Joint Utilities Group (NJUG) Guidelines Volumes 1 - 6.

ELECTRICITY service to and from existing buildings, care must be taken when excavation is taking place near these positions.

If the position of Electricity service cable(s) is not apparent then Contractor MUST confirm position with Electricity Supplier, BEFORE ANY works commence on site.

WATER supply to be located & isolated prior to removal of any pipework, water supply pipe to be adequately protected from accidental / willful damage at all times, contact Water Authority for advice etc.,

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from property (i.e. electricity, water, gas, communications (BT, etc.), foul & surface water drainage) does not, at any time interfere with the supply of services into / out from the adjacent properties, where this proves not to be the case, then the Contractor is to fully advise properties affected, as soon as problem is known and (where necessary) is to negotiate with adjacent properties regarding any appropriate action that may be required.

Prevent smoke, dust, fumes, spillage, & other harmful activities. No fires to be allowed on site, at any time, noise levels to be kept to a reasonable level, complying with BS 5228, 'Noise control on construction sites' remember that the adjacent properties are occupied and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.,

27-07-22 Southern site boundary amended

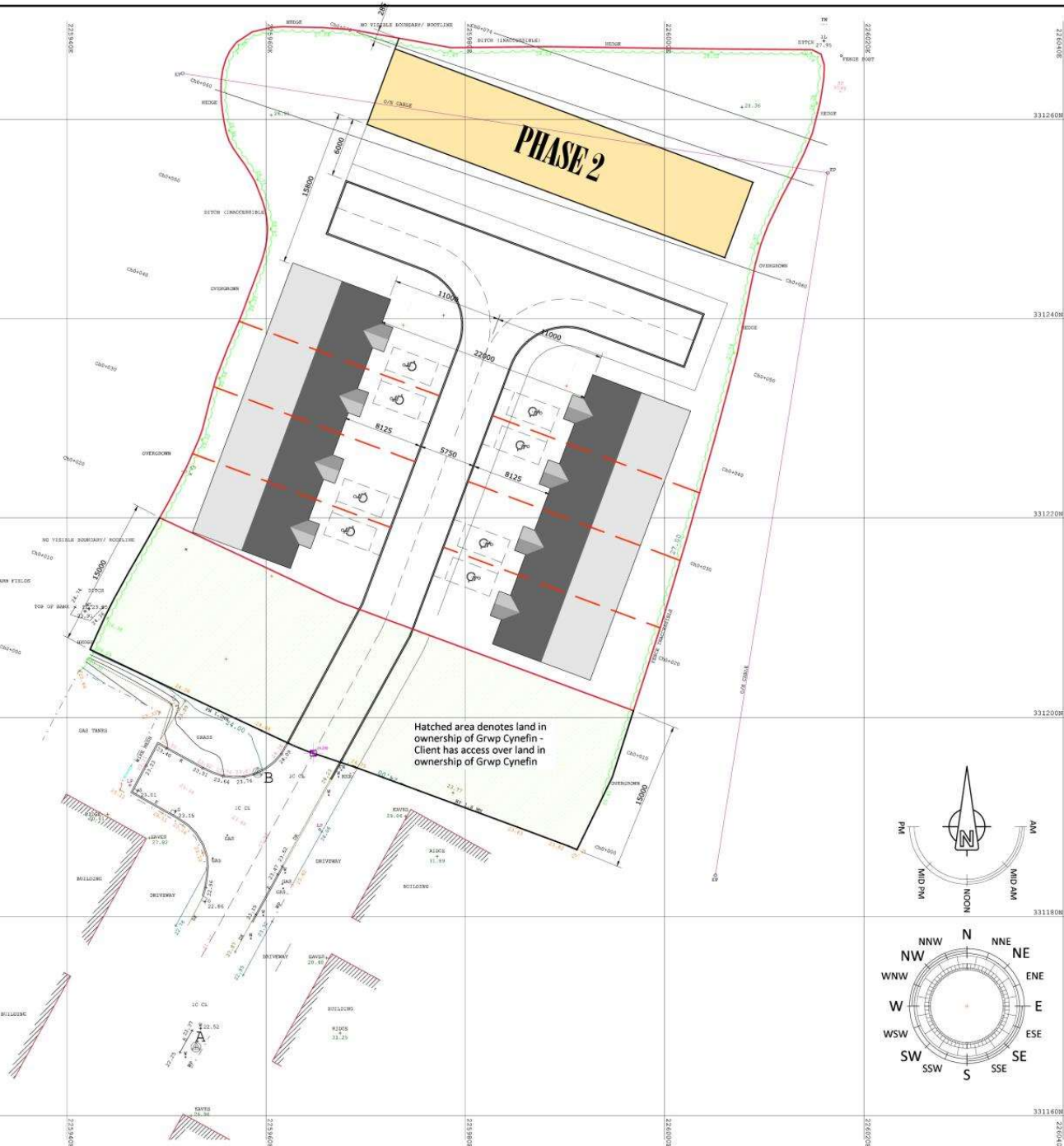
AMENDED PROPOSALS

Native CAD Format	- AlynCAD2013
Printer Driver	- Acrobat Distiller
Paper Size	- A1 - 594x841mm
Resolution	- 600
Colour Format	- 256 colours
Plotting Software	- Adobe Acrobat
Printed & Verified	- Yes
Satisfied with Accuracy	- Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes [Phase 1 of 2]
FOR: Serda Properties Limited
AT: Land At Congl Menela, Botwnnog, Gwynedd
POSTCODE: LL53 8BA
DRAWING: 001-Topographical Survey & Location Plan
PROJECT No: Serda01
SCALE: 1:200 @ paper size - A1 (other scales as noted)
EXISTINGS: J1 PLANNING C1 BUILDING J6C3 C1

Office -
62a Pensby Road
Heswall
CH60 7KE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com

Cynllun Diwygiedig Amended Plan



Specification

© The Kenefick Jones Partnership Ltd
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY AMBIGUITIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

DANGER

Prior to ANY works commencing the site and surrounding area MUST be checked for ALL overhead and underground services.

Contractor to obtain service plans from Utility providers and the site of works area checked over using a CAT scanner or other suitable locating device, where located, service routes to be identified and clearly marked on site and on site copies of plans.

If markings are lost during the working operation then the exercise will be repeated to ensure service routes remain clearly marked as required for the duration of the works, which must accord with HSE Guidance Document, 'H5647 Avoiding danger from underground services'.

All works on existing underground services or any new works proposed must comply with the National Joint Utilities Group (NJUG) Guidelines Volumes 1 - 6.

ELECTRICITY service to and from existing buildings, care must be taken when excavation is taking place near these positions.

If the position of Electricity service cable(s) is not apparent then Contractor MUST confirm position with Electricity Supplier, BEFORE ANY works commence on site.

WATER supply to be located & isolated prior to removal of any pipework, water supply pipe to be adequately protected from accidental / wilful damage at all times, contact Water Authority for advice etc.,

Site to be used only for the demolition / construction of the proposed works, which is to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services into / from property (i.e. electricity, water, gas, communications [BT, etc.], foul & surface water drainage) does not, at any time interfere with the supply of services into / out from the adjacent properties, where this proves not to be the case, then the Contractor is to fully advise properties affected, as soon as problem is known and (where necessary) is to negotiate with adjacent properties regarding any appropriate action that may be required.

Prevent smoke, dust, fumes, spillage, & other harmful activities. No fires to be allowed on site, at any time, noise levels to be kept to a reasonable level, complying with BS 5228, 'Noise control on construction sites' remember that the adjacent properties are occupied and comply with all reasonable requests from the general public / neighbours regarding the use of power tools etc.,

27-07-22 Southern site boundary amended

AMENDED PROPOSALS

Native CAD Format	- AllyCAD2013
Printer Driver	- Acrobat Distiller
Paper Size	- A1 - 594x841mm
Resolution	- 600
Colour Format	- 256 colours
Plotting Software	- Adobe Acrobat
Printed & Verified	- Yes
Satisfied with Accuracy	- Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes [Phase 1 of 2]
FOR: Serda Properties Limited
AT: Land At Congl. Meriwlau, Botwinning, Gwynedd
POSTCODE: LL53 8BA
DRAWING: 003 Proposed Site Topographical Plan
PROJECT No: Serda03
SCALE: 1:200 @ paper size - A1 (other scales as noted)
EXISTINGS: 11 PLANNING-C1 BUILDING RECS-C1

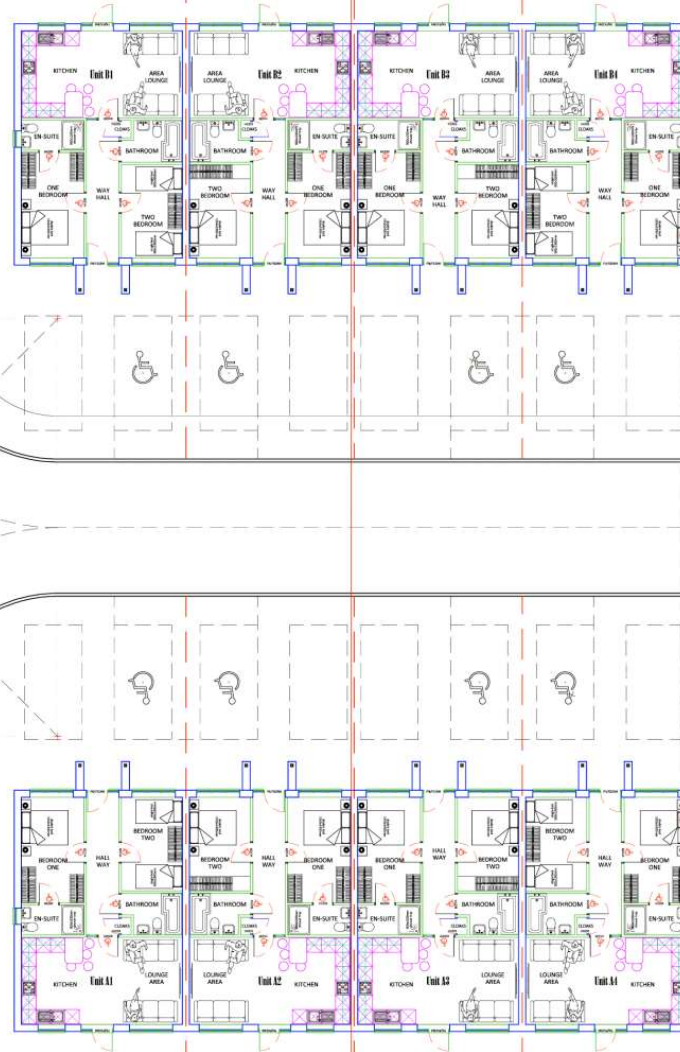
Office:
62a Penrhy Road
Heswall
Wirral
CH60 7RE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com



Cynllun Diwygiedig
Amended Plan

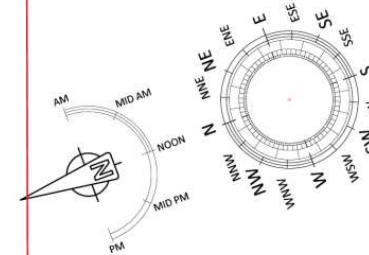
Cynllunio
Deddfym - 27/07/2022

PHASE 2



Specification
© The Kenefick Jones Partnership Ltd
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE. ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

**FOR PLANNING
PURPOSES ONLY**



27-07-22 Southern site boundary amended

AMENDED PROPOSALS

Native CAD Format	- AutoCAD 2013
Printer Driver	- Acrobat Distiller
Paper Size	- A1 - 594x841mm
Resolution	- 600
Colour Format	- 256 colours
Plotting Software	- Adobe Acrobat
Printed & Verified	- Yes
Satisfied with Accuracy	- Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes [Phase 1 of 2]
FOR: Serda Properties Limited
AT: Land At Congl Meiricau, Botwnnog, Gwynedd
POSTCODE: LL53 8RA
DRAWING: 004-Proposed Plot Layouts A1-A4 and B1-B4
PROJECT No: Serd021
SCALE: 1:100 @ paper size - A1 [other scales as noted]
EXISTINGS - J. PLANNING: C. BUILDING REG'S: C.

Office -
62a Penrhy Road
Heswall
Wirral
CH60 7RE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com

KJP
ARCHITECTURE

Cynllunio

Derbyn - 05/07/2022

Specification

© The Kenefick Jones Partnership is
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN
APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010
& ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR
CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE
APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR
MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO
COMMENCEMENT ON SITE. ANY ANOMALIES TO BE REPORTED.
DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY
TO BE USED.

FOR PLANNING PURPOSES ONLY

DANGER

Prior to ANY works commencing the site and surrounding
area MUST be checked for ALL overhead and underground
services.

Contractor to obtain service plans from Utility providers
and the site of works area checked over using a CAT
scanner or other suitable locating device, where located,
service routes to be identified and clearly marked on site
and on site copies of plans.

If markings are lost during the working operation then the
exercise will be repeated to ensure service routes remain
clearly marked as required for the duration of the works,
which must accord with HSE Guidance Document, 'H5647
Avoiding danger from underground services'.

All works on existing underground services or any new
works proposed must comply with the National Joint
Utilities Group (NJUG) Guidelines Volumes 1 - 6.

ELECTRICITY service to and from existing buildings, care
must be taken when excavation is taking place near these
positions.

If the position of Electricity service cable(s) is not apparent
then Contractor MUST confirm position with Electricity
Supplier, BEFORE ANY works commence on site.

WATER supply to be located & isolated prior to removal of
any pipework, water supply pipe to be adequately
protected from accidental / wilful damage at all times,
contact Water Authority for advice etc.

Site to be used only for the demolition / construction of
the proposed works, which is to be protected at all times
along with adjacent properties, not forming part of the
works.

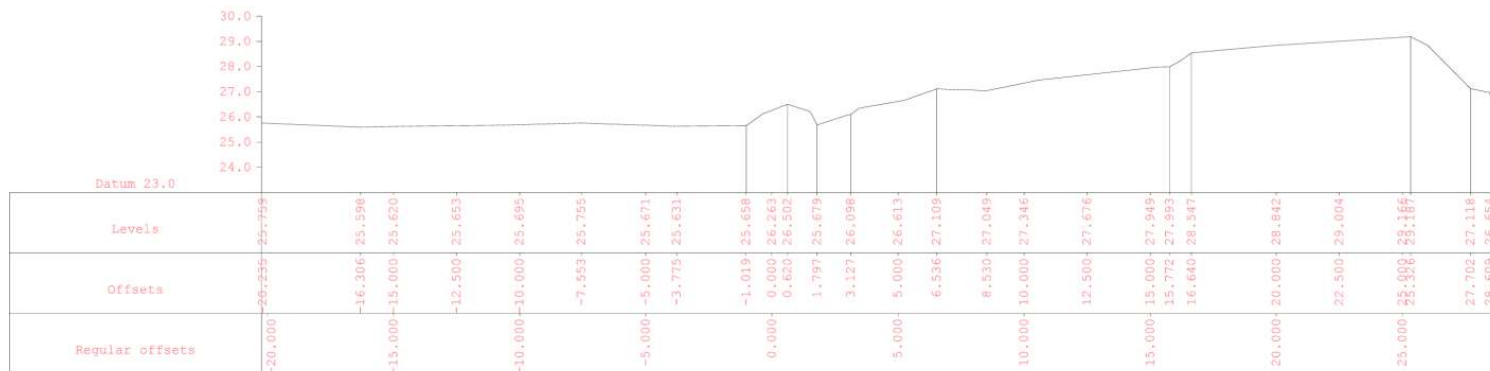
Care must be taken at all times to ensure that any works
on the supply of all services into / from property (i.e.
electricity, water, gas, communications (BT, etc.), foul &
surface water drainage) does not, at any time interfere
with the supply of services into / out from the adjacent
properties, where this proves not to be the case, then the
Contractor is to fully advise properties affected, as soon as
problem is known and (where necessary) is to negotiate
with adjacent properties regarding any appropriate action
that may be required.

Prevent smoke, dust, fumes, spillage, & other harmful
activities. No fires to be allowed on site, at any time,
noise levels to be kept to a reasonable level, complying
with BS 5228, 'Noise control on construction sites'
remember that the adjacent properties are occupied and
comply with all reasonable requests from the general
public / neighbours regarding the use of power tools etc.,

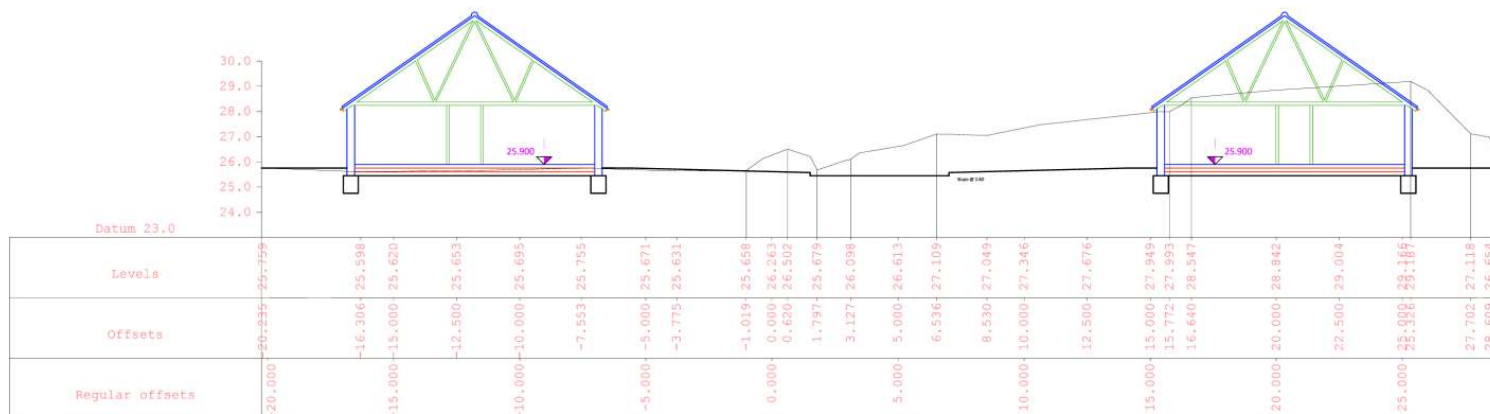
Native CAD Format - A1/CAD2013
Printer Driver - Acrobat Distiller
Paper Size - A1 - 594x841mm
Resolution - 600
Colour Format - 256 colours
Plotting Software - Adobe Acrobat
Printed & Verified - Yes
Satisfied with Accuracy - Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes [Phase 1 of 2]
FOR: Serda Properties Limited
AT: Land At Congl Meiriciu, Botwnnog, Gwynedd
POSTCODE: LL53 8BA
DRAWING: 005-Existing and Proposed Site Section
PROJECT No: Serda01
SCALE: 1:100 @ paper size - A1 [other scales as noted]
EXISTINGS : JJ PLANNING: CJ BUILDING REG'S : CJ

Office -
62a Pensby Road
Heswall
Wirral
CH60 7BE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com

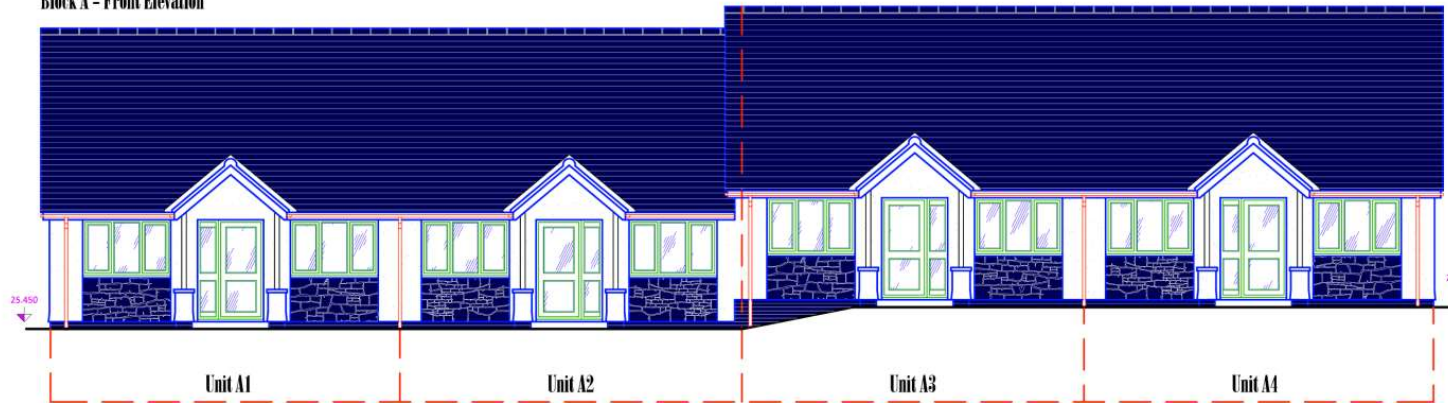


Chainage 30.0m (225973.7E 331225.0N)



Chainage 30.0m (225973.7E 331225.0N)

Block A - Front Elevation



Roof cover to be Welsh Blue Penhryn by Welsh Slate Ltd in strict accordance with the manufacturers specific recommendations

Fascias, barge boards, guttering & downpipes to be of white uPVC

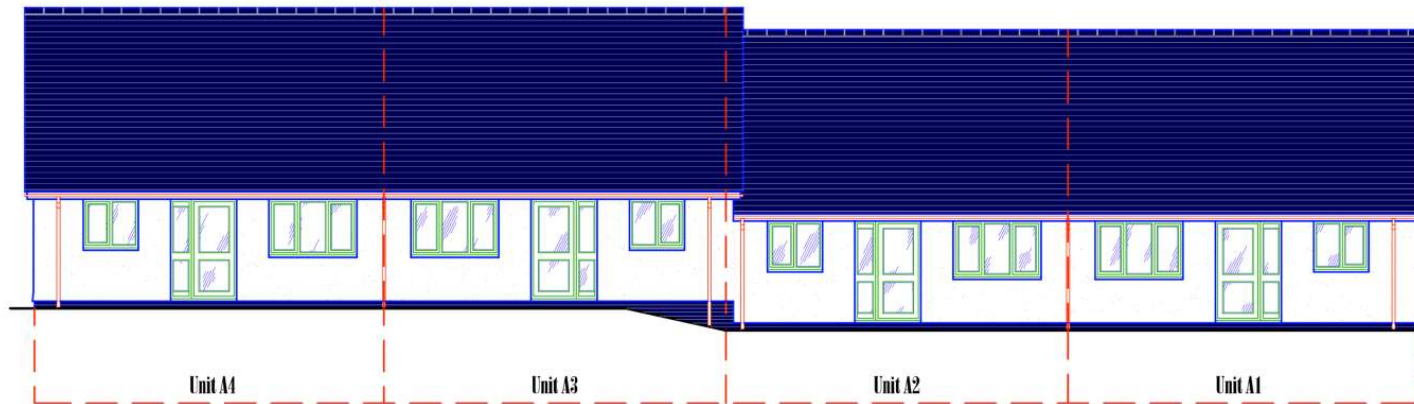
Windows / doors to be of high standard white uPVC

Main elevations to be of a textured through coloured render (K-Rend, 'Polar White') or similar

Plinth brickwork to be 'Staffordshire Blue' facing bricks by Ibstock Ltd

Feature details to underside of front elevation windows to be of Welsh Blue Penhryn stonework or cladding.

Block A - Rear Elevation



Specification
© The Kenefick Jones Partnership Ltd
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE. ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction.

Materials noted on plans to be as stated, alterations in materials MUST be referred back to the relevant Planning Officer for confirmation that changes are NOT considered to be a 'material change' that would affect the Planning Permission or Permitted Development Rights of the proposal(s).

Any alterations to the approved plans MUST be notified to the Planning Officer or Planning Department for formal approval PRIOR to altering any part of the approved plans.

Client to ensure that any conditions attached to the Planning Permission are formally approved in writing by the Planning Officer or Planning Department PRIOR to ordering.

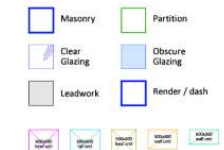
Client to ensure that the proposal is commenced within the time period stated in the Planning Approval (generally three years from the date of Approval).

Domestic clients have responsibility for Health & Safety matters, the Construction (Design and Management) Regulations 2015 (CDM 2015) now apply to Domestic clients. CDM 2015 states that a domestic client is any individual who has construction work carried out on their home, or the home of a family member, that is not done as part of any business.

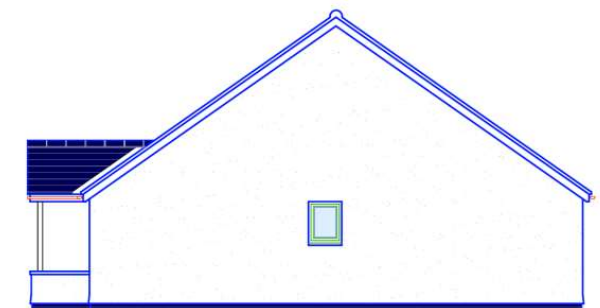
While CDM 2015 places client duties on commercial clients in full, such duties for domestic clients normally pass to either:

The contractor, if it is a single contractor project, who must take on the legal duties of the client in addition to their own as contractor. In practice, this should involve little more than what they normally do in managing health and safety risks.

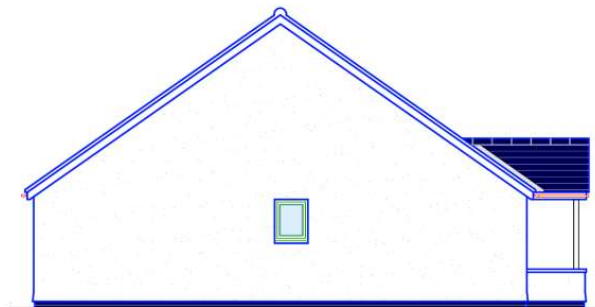
The principal contractor, for projects with more than one contractor, who must take on the legal duties of the client in addition to their own as principal contractor. If the domestic client has not appointed a principal contractor, the client duties must be carried out by the contractor in control of the construction work.



Block A - Side Elevation



Block A - Side Elevation



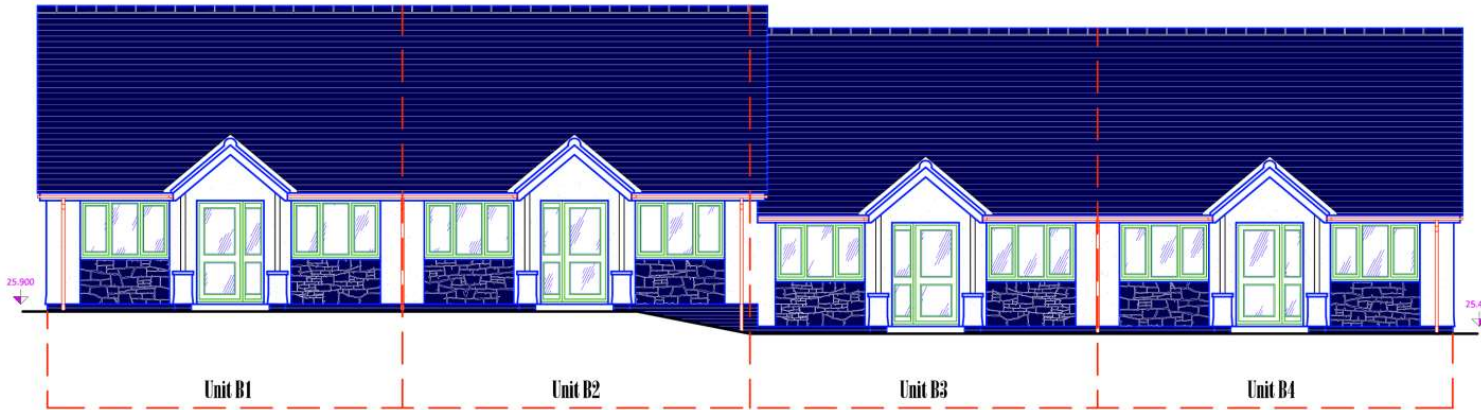
Native CAD Format - AllyCAD2013
Printer Driver - Acrobat Distiller
Paper Size - A1 - 594x841mm
Resolution - 600
Colour Format - 256 colours
Plotting Software - Adobe Acrobat
Printed & Verified - Yes
Satisfied with Accuracy - Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes (Phase 1 of 2)
FOR: Senda Properties Limited
AT: Land At Congl Meinciau, Botwnnog, Gwynedd
POSTCODE: LL53 8RA
DRAWING: 008-Proposed Elevations - Units A1/A4
PROJECT No: Senda01
SCALE: 1:50 @ paper size - A1 (other scales as noted)
EXISTINGS: J: PLANNING: C: BUILDING REGS: C:

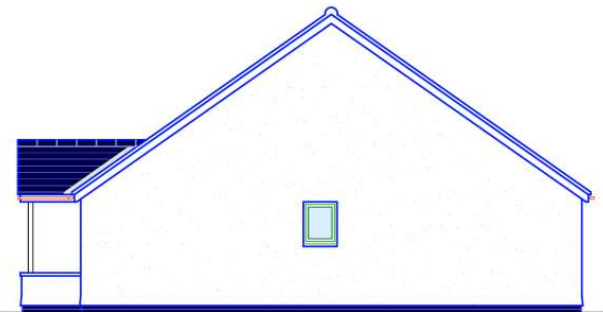
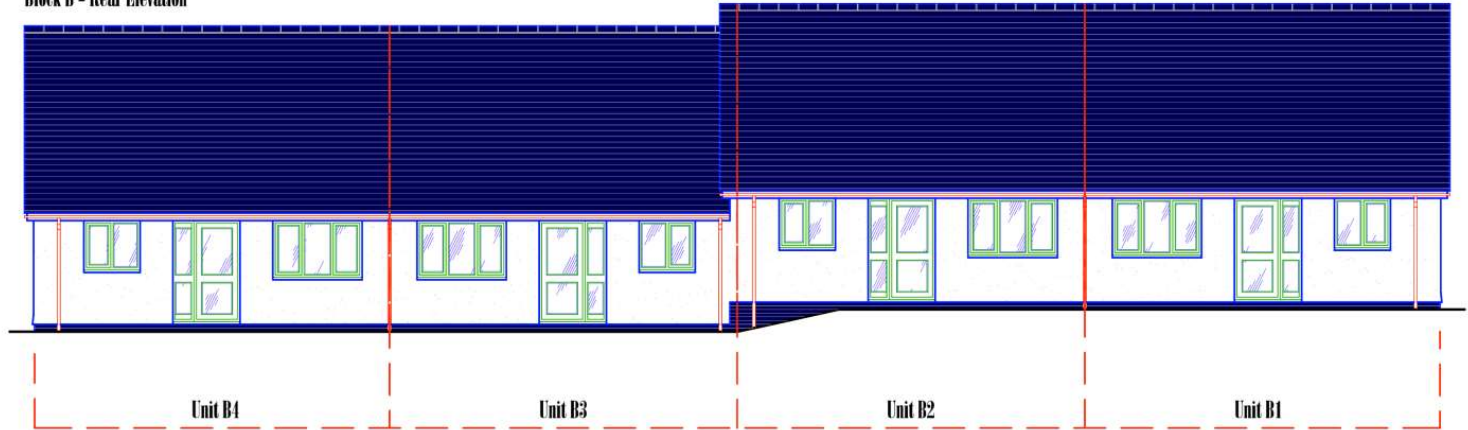
Office -
62a Pensby Road
Heswall
Wirral
CH60 7RE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com



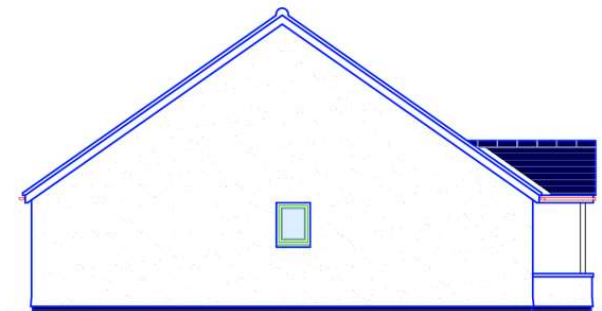
Block B - Front Elevation



Block B - Rear Elevation



Block B - Side Elevation



Block B - Side Elevation

Roof cover to be Welsh Blue Penhryn by Welsh Slate Ltd in strict accordance with the manufacturers specific recommendations

Fascias, barge boards, guttering & downpipes to be of white uPVC

Windows / doors to be of high standard white uPVC

Main elevations to be of a textured through coloured render [K-Rend, 'Polar White'] or similar

Plinth brickwork to be 'Staffordshire Blue' facing bricks by Istock Ltd

Feature details to underside of front elevation windows to be of Welsh Blue Penhryn stonework or cladding.

Specification

© The Kenefick Jones Partnership Ltd
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE, ANY ANOMALIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction.

Materials noted on plans to be as stated, alterations in materials MUST be referred back to the relevant Planning Officer for confirmation that changes are NOT considered to be a 'material change' that would affect the Planning Permission or Permitted Development Rights of the proposal[s].

Any alterations to the approved plans MUST be notified to the Planning Officer or Planning Department for formal approval PRIOR to altering any part of the approved plans.

Client to ensure that any conditions attached to the Planning Permission are formally approved in writing by the Planning Officer or Planning Department PRIOR to ordering.

Client to ensure that the proposal is commenced within the time period stated in the Planning Approval [generally three years from the date of Approval].

Domestic clients have responsibility for Health & Safety matters, the Construction (Design and Management) Regulations 2015 (CDM 2015) now apply to Domestic clients. CDM 2015 states that a domestic client is any individual who has construction work carried out on their home, or the home of a family member, that is not done as part of any business.

While CDM 2015 places client duties on commercial clients in full, such duties for domestic clients normally pass to either:

The contractor, if it is a single contractor project, who must take on the legal duties of the client in addition to their own as contractor. In practice, this should involve little more than what they normally do in managing health and safety risks.

The principal contractor, for projects with more than one contractor, who must take on the legal duties of the client in addition to their own as principal contractor. If the domestic client has not appointed a principal contractor, the client duties must be carried out by the contractor in control of the construction work.



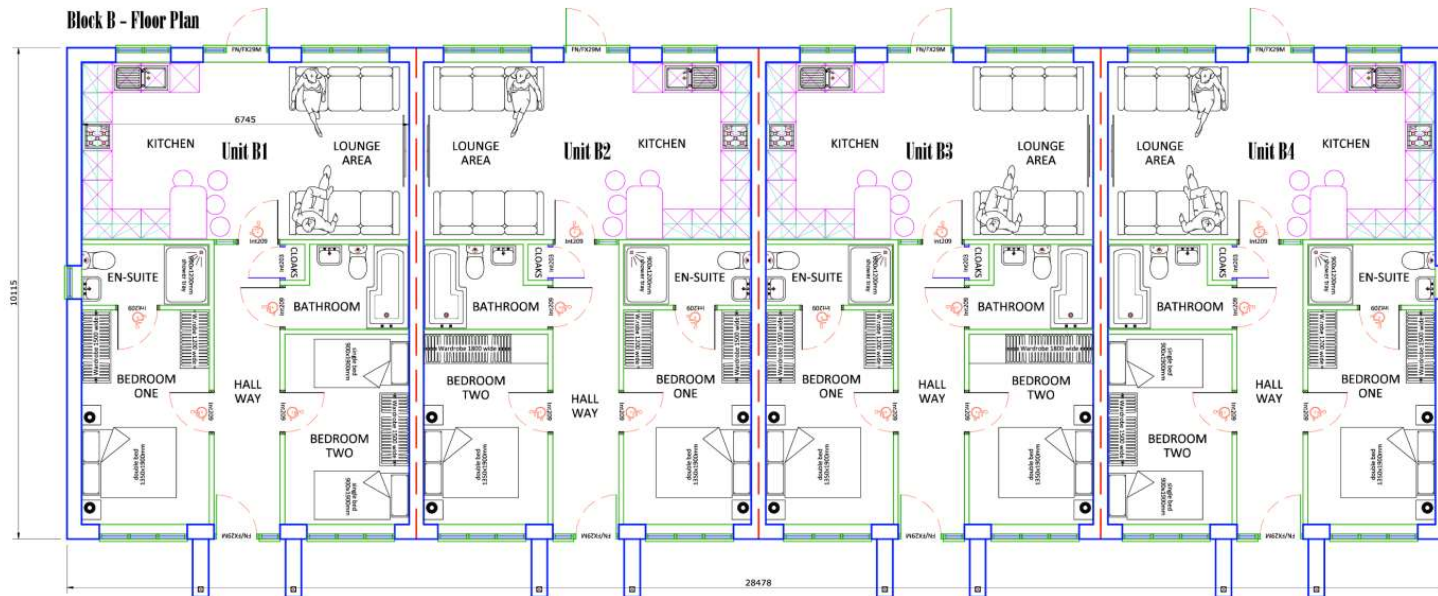
Native CAD Format: AllyCAD2013
Printer Driver: Acrobat Distiller
Paper Size: A1 - 594x841mm
Resolution: 500
Colour Format: 256 colours
Plotting Software: Adobe Acrobat
Printed & Verified: Yes
Satisfied with Accuracy: Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes [Phase 1 of 2]
FOR: Serda Properties Limited
AT: Land At Congl Meinciau, Botwinog, Gwynedd
POSTCODE: LL53 8BA
DRAWING: 009-Proposed Elevations R1-B4
PROJECT No: Serda01
SCALE: 1:50 @ paper size - A1 [other scales as noted]
EXISTINGS: -J- PLANNING: CJ BUILDING REGS: CJ

Office -
62a Pensby Road
Heswall
Wirral
CH60 7RE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com



Block B - Floor Plan



Cynllunio
Derbyn - 05/07/2022

Specification

© The Kenefick Jones Partnership Ltd
THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY AMBIGUITIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction.

Materials noted on plans to be as stated, alterations in materials MUST be referred back to the relevant Planning Officer for confirmation that changes are NOT considered to be a 'material change' that would affect the Planning Permission or Permitted Development Rights of the proposal(s).

Any alterations to the approved plans MUST be notified to the Planning Officer or Planning Department for formal approval PRIOR to altering any part of the approved plans.

Client to ensure that any conditions attached to the Planning Permission are formally approved in writing by the Planning Officer or Planning Department PRIOR to ordering.

Client to ensure that the proposal is commenced within the time period stated in the Planning Approval (generally three years from the date of approval).

Domestic clients have responsibility for Health & Safety matters, the Construction (Design and Management) Regulations 2015 (CDM 2015) now apply to Domestic clients. CDM 2015 states that a domestic client is any individual who has construction work carried out on their home, or the home of a family member, that is not done as part of any business.

While CDM 2015 places client duties on commercial clients in full, such duties for domestic clients normally pass to either:

The contractor, if it is a single contractor project, who must take on the legal duties of the client in addition to their own as contractor. In practice, this should involve little more than what they normally do in managing health and safety risks.

The principal contractor, for projects with more than one contractor, who must take on the legal duties of the client in addition to their own as principal contractor. If the domestic client has not appointed a principal contractor, the client duties must be carried out by the contractor in control of the construction work.

- Masonry
- Partition
- Clear Glazing
- Obscure Glazing
- Leadwork
- Render / dash

- Change of Use
- Change of Use
- Change of Use
- Change of Use
- Change of Use
- Change of Use

Native CAD Format - AllyCAD2013
Printer Driver - Acrobat Distiller
Paper Size - A1 - 594x841mm
Resolution - 600
Colour Format - 256 colours
Plotting Software - Adobe Acrobat
Printed & Verified - Yes
Satisfied with Accuracy - Yes

DATE: 14th of June 2022
JOB: Development of 8 Affordable Homes (Phase 1 of 2)
FOR: Serda Properties Limited
AT: Land At Comp Meinciau, Botwnnog, Gwynedd
POSTCODE: LL53 5BA
DRAWING: 006-Proposed Floor Plans A1-A4 and B1-B4
PROJECT No: Serda01
SCALE: 1:50 @ paper size - A1 (other scales as noted)
EXISTINGS: J: PLANNING: CJ BUILDING REG'S: CJ

Office -
62a Pensby Road
Heswall
Wirral
CH60 7RE
T: 0151 342 2779
E: chris@kenefickjones.com
W: kenefickjones.com



Block A - Floor Plan

